

**Time and Date**

2.00 pm on Thursday, 5th October, 2023

Place

Council Chamber - Council House

1. **Apologies for Absence**

2. **Declarations of Interest**

3. **Members Declarations of Contact on Planning Applications**

Members are reminded that contacts about any planning applications on this agenda must, unless reported to this meeting by the Strategic Lead for Planning, be declared before the application is considered.

4. **Minutes of Previous Meeting held on 14 September 2023** (Pages 3 - 8)

5. **Late Representations**

To be circulated at the meeting.

6. **Application PL/2023/0001042/FULM - Mills Forgings Ltd Charterhouse Road, Coventry** (Pages 9 - 40)

Report of the Strategic Lead for Planning

7. **Application RMM/2022/0679 - Land at Fivefield Road and Tamworth Road** (Pages 41 - 80)

Report of the Strategic Lead for Planning

8. **Application FUL/2022/1981 - Land at Thompsons Farm** (Pages 81 - 116)

Report of the Strategic Lead for Planning

9. **Application PL/2023/0000657/FUL - Macdonald Road Methodist Church, Macdonald Road, Coventry** (Pages 117 - 140)

Report of the Strategic Lead for Planning

10. **Application FUL/2022/2851 - Garage Block on East Side next to 19 and 41 Thimbler Road, Coventry** (Pages 141 - 168)

Report of the Strategic Lead for Planning

11. **Application PL/2023/0001890/TCA - 35 Morningside, Coventry** (Pages 169 - 176)
Report of the Strategic Lead for Planning
12. **Outstanding Issues**
There are no outstanding issues.
13. **Any other items of public business which the Chair decides to take as matters of urgency because of the special circumstances involved**

Julie Newman, Chief Legal Officer, Council House, Coventry

Wednesday, 27 September 2023

Note: The person to contact about the agenda and documents for this meeting is Carolyn Sinclair / Usha Patel carolyn.sinclair@coventry.gov.uk / usha.patel@coventry.gov.uk

Membership: Councillors N Akhtar, P Akhtar, R Bailey, J Gardiner, L Harvard (Chair), A Kaur, T Khan (Deputy Chair), G Lloyd, K Maton, C Miks and R Simpson

By invitation: Councillor D Welsh (Cabinet Member for Housing and Communities)

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Coventry City Council
Minutes of the Meeting of Planning Committee held at 2.00 pm on Thursday, 14
September 2023

Present:

Members: Councillor L Harvard (Chair)
Councillor N Akhtar
Councillor P Akhtar
Councillor R Bailey
Councillor J Gardiner
Councillor A Kaur
Councillor T Khan
Councillor G Lloyd
Councillor K Maton
Councillor C Miks
Councillor R Simpson

Other Members: Councillors L Bigham, T Jandu, S Keough and P Seaman and
Councillor Welsh (Cabinet Member for Housing and
Communities)

Employees (by Service Area):

Planning and Regulation: R Back
T Cox
L D'Onofrio
R Edgington
A Lynch
A Saleem

Highways and
Transportation: N Benison

Law and Governance: O Aremu
U Patel
T Robinson
C Sinclair

Public Business

22. Declarations of Interest

Councillors Gardiner, Lloyd and Simpson declared an 'Other Interest' (predetermination) in the matter referred to in Minute 26 below (Application OUT/2022/2259 – Land at Browns Lane). They did not take part in the consideration and voting on this item.

Councillor Lloyd declared a pecuniary interest in the matter referred to in Minute 28 below (Application PL/2023/0001033/FUL – 16-18 Henley Road). He left the meeting during the consideration of this item.

Councillor N Akhtar declared a pecuniary interest in the matter referred to in Minute 31 below (Application PL/2023/0000750/RESM – Land at Cheltenham Croft, Coventry, CV2 2QX). He left the meeting during the consideration of this item.

23. Members Declarations of Contact on Planning Applications

The Members named declared contacts on the following application as indicated:

Application No.	Councillor	From
PL/20230/0001033/FUL – 16-18 Henley Road	Councillor Harvard	Resident

24. Minutes of Previous Meeting held on 20 July 2023

The Minutes of the meeting held on 20 July 2023 were signed as a true record.

25. Late Representations

The Committee noted a tabled report which summarised late representations and responses on the following:

Application	Site	Minute
OUT/2022/2259	Land at Browns Lane	26
PL/2023/0001356/PAEC	16 Quinton Road, Coventry	27
PL/2023/0001033/FUL	16-18 Henley Road	28
PL/2023/0000863/PAEC	Land at Junction of Lucerne Close and Eburne Road	29
PL/2023/0001089/FUL	Texaco Garage, 143 Hinckley Road, Coventry. CV2 2QN	30
PL/2023/000750/RESM	Land at Cheltenham Croft	31
PL/2023/0001348/PAEC	Land at 9 Orchard Court, Coventry	32

26. Application OUT/2022/2259 - Land at Browns Lane

The Committee considered a report of the Strategic Lead for Planning detailing the above outline application for residential development of up to 345 dwellings (Use Class C3a) and 2 hectares of housing with care/residential care home provision (Use Class C2), together with associated infrastructure, open space, and landscape enhancements on land at Browns Lane in Coventry (with all matters reserved except for access). The Committee were recommended to delegate the grant of planning permission to the Strategic Lead for Planning subject to conditions and the completion of a s106 Legal Agreement to secure the obligations summarised in the report.

The Late Representation document tabled at the meeting informed of three further petitions submitted following publication of the report. The document also detailed an amended recommendation.

The Committee considered five petitions, objecting to the application; three bearing a total of 934 signatures sponsored by Councillors Birdi, Jandu and Keough, Bablake Ward Councillors; and two bearing a total of 123 signatures sponsored by Councillors Gardiner and Simpson, Sherbourne Ward Councillors. Councillors Jandu, Keough, Gardiner and Simpson were present at the meeting and spoke in respect of their objections to the application. A statement was read on behalf of Councillor Birdi who was unable to attend. Two registered speakers also attended the meeting and spoke in respect of their objections and a statement was read on behalf of a further registered speaker. Councillor Welsh, Cabinet Member for Housing and Communities and the applicant's representative spoke in support of the application.

Following consideration of the report, the late representations document and matters raised at the meeting, the Committee requested that the reserved matters application be submitted to the Committee for consideration.

RESOLVED that:

- 1. That the grant of planning permission in respect of Application OUT/2022/2259 be delegated to the Strategic Lead for Planning, subject to conditions and the completion of a s106 Legal Agreement to secure the obligations summarised in the report.**
- 2. That authority be delegated to the Strategic Lead for Planning, following consultation with the Chair of Planning Committee, to finalise the NHS s106 contribution which will be utilised towards the gap in the funding created by each potential patient form this development.**
- 3. That the application for Reserved Matters on this site be submitted to the Committee for consideration in due course.**

Note: Councillors Gardiner, Lloyd and Simpson, having declared an interest, did not take part in the consideration of this item.

27. Application PL/2023/0001356/PAEC - 16 Quinton Road, Coventry

The Committee considered a report of the Strategic Lead for Planning detailing the above prior approval application for the proposed installation of 15.0m monopole and associated ancillary cabinets/works, which was recommended for approval.

The Late Representations document tabled at the meeting informed of an additional neighbour comment that had been received following publication of the report.

Two registered speakers attended the meeting and spoke in respect of their objections to the application.

RESOLVED that Prior Approval be granted in respect of Application PL/2023/0001356/PAEC, subject to conditions.

28. **Application PL/2023/0001033/FUL - 16-18 Henley Road**

The Committee considered a report of the Strategic Lead for Planning detailing the above application for the proposed change of use Class E(e) to Use Class C2 residential care home with alterations to existing building and proposed landscaping. The application was recommended for approval, subject to conditions.

The Late Representations document tabled at the meeting provided information on the recent changes to the National Planning Policy Framework.

The application had been called in by Councillors Bigham and Duggins, Longford Ward Councillors. Councillor Bigham attended the meeting and spoke in respect of her objections to the application. The applicant's representative also attended the meeting and spoke in support of the application.

Following consideration of the report and matters raised at the meeting, the Committee expressed concerns regarding the lack of parking on site, including disabled parking spaces and requested further information about the proposal, especially in respect of the apparent lack of lifts in the care home.

RESOLVED that the consideration of Application PL/2023/0001033/FUL be deferred pending further information.

Note: Councillor Lloyd, having declared an interest, withdrew from the meeting during the consideration of this item.

29. **Application PL/2023/0000863/PAEC - Land at Junction of Lucerne Close And Eburne Road**

The Committee considered a report of the Strategic Lead for Planning detailing the above application for the installation of a 15m high 'slim line' phase 9 monopole c/w wraparound cabinet at base, 3no. additional ancillary equipment cabinets and associated ancillary works. The application was recommended for approval, subject to conditions.

The Late Representations document that was tabled the meeting provided information on the recent changes to the National Planning Policy Framework and detailed a further objection that had been received following publication of the report.

Two registered speakers attended the meeting and spoke in respect of their objections to the application.

RESOLVED that Prior Approval be granted in respect of Application PL/2023/0000863/PAEC subject to compliance with the submitted drawings and subject to conditions.

Notes: (1) Councillor P Akhtar asked about the range of the monopole and it was reported that information on the internet suggested the range was 1-3km,

considerably greater than 50m. Councillor P Akhtar requested that this be recorded.

(2) Councillor Gardiner sought assurances that Committee Members would not be personally liable for any health issues that may emerge in the future as a result of this and she sought clarification that members were indemnified. Councillor Gardiner requested that this be recorded.

30. Application PL/2023/0001089/FUL - Texaco Garage, 143 Hinckley Road, Coventry, CV2 2QN

The Committee considered a report of the Strategic Lead for Planning detailing the above application for the existing canopy to be raised from 3.6m to 4.5m (to soffit) which was recommended for approval, subject to conditions.

The Late Representations document tabled at the meeting reported that following the publication of the report, an application at the same site for the 'creation of three jet wash bays, erection of air/water and vacuum unit erection of plant room and associated landscaping and forecourt works had been rejected. In addition, the petrol filling station now operated under the Esso label, not Texaco. It was noted that none of these matters would change the material matters under consideration. The document provided information on the recent changes to the National Planning Policy Framework.

Councillor Seaman, a Henley Ward Councillor, who had called the application in for Committee's consideration, was present at the meeting and spoke in respect of her objections to the application. A registered speaker also attended the meeting and spoke in respect of her objections to the application.

Following consideration of the report and matters raised at the meeting, the Committee expressed concerns in relation to potential light and noise pollution to nearby residents and requested further information on mitigation measures such as a planting scheme and directing/installing low level lighting to minimise the impact of light, and whether the red light on the fascia could be dimmed.

RESOLVED that the consideration of Application PL/2023/0001089/FUL be deferred pending further information as requested above.

Note: Councillor Simpson did not participate in the consideration of this item as he had left the meeting.

31. Application PL/2023/0000750/RESM - Land at Cheltenham Croft, Coventry, CV2 2QX

The Committee considered a report of the Strategic Lead for Planning detailing the above application for the submission of reserved matters to include layout, scale, design, landscaping and other detailed matters for the erection of 15 residential dwellings. The application was recommended for approval.

The Late Representations document tabled at the meeting informed of some policy changes.

RESOLVED that planning permission be granted in respect of Application PL/2023/0000750/RESM, subject to conditions listed within the report.

Notes: (1) Councillor N Akhtar, having declared an interest, withdrew from the meeting during the consideration of this item.

(2) Councillor Simpson did not participate in the consideration of this item as he had left the meeting.

32. Application PL/2023/0001348/PAEC - Land at 9 Orchard Court, Coventry

The Committee considered a report of the Strategic Lead for Planning detailing the above application for the installation of 15m 5G telecoms installation: H3G street pole and additional equipment cabinet which was recommended for approval.

The Late Representations document tabled at the meeting informed that some minor matters had changed with respect to the site and policy context.

Two registered speakers attended the meeting and spoke in respect of their objections to the application.

RESOLVED that Prior Approval permission be granted in respect of Application PL/2023/0001348/PAEC subject to conditions outlined in the report.

Note: Councillors N Akhtar, P Akhtar and Simpson did not participate in the consideration of this item as they had left the meeting.

33. Outstanding Issues

There were no outstanding issues.

34. Any other items of public business which the Chair decides to take as matters of urgency because of the special circumstances involved

There were no other items of public business.

(Meeting closed at 6.50 pm)

Planning Committee Report	
Planning Ref:	PL/2023/0001042/FULM
Site:	Mills Forgings Ltd Charterhouse Road
Ward:	St Michael's
Proposal:	Demolition of existing buildings and erection of part 4 and part 6-storey building for purpose-built student accommodation comprising 130 rooms, with associated communal and external amenity space, landscaping and cycle parking.
Case Officer:	Liam D'Onofrio

SUMMARY

The application proposes the demolition of existing industrial buildings and the erection of purpose-built student accommodation comprising 130 rooms, with associated communal and external amenity space, landscaping and cycle parking. The building will be formed by four and six-storey elements.

KEY FACTS

Reason for report to committee:	More than five objections received
Current use of site:	Mills Forgings Ltd Factory and Blacksmiths
Proposed use of site:	Purpose built student accommodation.
Proposed no of units	130 No. rooms

RECOMMENDATION

Planning Committee are recommended to delegate the grant of planning permission to the Strategic Lead for Planning subject to conditions and the completion of a S106 Legal Agreement to secure the contributions summarised in this report.

REASON FOR DECISION

- The proposal is acceptable in principle
- The proposal provides an appropriate design and layout solution.
- The proposal will not adversely impact upon highway safety.
- The proposal will not adversely impact upon the amenity of neighbours.
- The proposal makes provision for necessary developer contributions.
- The proposal accords with Policies: DE1, HE2, H3, H10, JE3, AC1, AC2, AC3, AC4 & DS3 of the Coventry Local Plan 2016, together with the aims of the NPPF.

SITE DESCRIPTION

The application site is located on the western side of Charterhouse Road and adjoins the eastern side of the River Sherbourne. The site is occupied by Mills Forgings Ltd, an existing factory and blacksmiths comprising a single storey building with adjoining two-storey offices. There is an open yard fronting Charterhouse Road, but the site otherwise sits behind two-storey period terraced dwellings that front the highway.

A contemporary three and four-storey residential development 'Willowbank Mews' and its associated car park is located to the south of the site and an engineering training centre is located to the north. There are existing industrial uses on the opposite side of

the river to the west and student accommodation under construction (former Dairy Crest site) to the northwest, all accessed from Harper Road.

The site is within the built-up area of the city, located less than 400m from Far Gosford Street Local Centre and 800m from the Ring Road overpass at Gosford Street, via the Coventry University Lanchester Library.

APPLICATION PROPOSAL

Planning permission is sought for the demolition of the existing Mills Forgings factory buildings and the erection of purpose-built student accommodation comprising 130 rooms, with associated communal and external amenity space, landscaping and cycle parking.

The Design and Access Statement (DAS) states that the scheme provides:

- 130 Bedrooms which include 127 no. Studios and 3 no. Wheelchair Accessible rooms.
- 343m² of internal communal space, plus additional external amenity space providing students with social spaces, including include a gym, communal kitchen/lounge and a laundry room.
- 80 no. long stay cycle spaces are provided primarily for students and staff and 10 short stay cycle spaces, which are dedicated for visitors.
- External amenity spaces and a terrace overlooking the River Sherbourne has been provided for outside amenity space. The central courtyard will also provide access and a turning area for a fire engine and an area for managed student arrival and departure days.
- Within the site, 7 no. car parking spaces are provided for residents and visitors, including 2 no. disabled spaces.

In terms of design the DAS states that the proposed building's massing and form have been influenced by the surrounding area. Elevational design is inspired by the local context of red brick evident in the residential properties and industrial buildings surrounding the site. The proposed elevations have been carefully designed to positively contribute to the existing streetscape and link the proposed development to the surrounding character of the existing buildings, bridging the existing fringe of industrial and residential. Pitched roofs and punched windows have been included into the design to reflect the surrounding buildings. The proposed materials palette will consist of red brickwork as a facing material and standing seam zinc cladding.

The main entrance is accessed just off Charterhouse Road and is easily located from the site access point. The entrance to the building is provided through a single point of entry. To the right of the entrance is a reception and post room with associated staff facilities.

The plant room and water tank are located at basement level and are accessed from separate stairwells with no through connection. The upper floors consist of private studio bedrooms with amenity space provided on each floor. All studios feature a bedroom with a desk, bed and storage units, ensuite and a kitchen living area.

PLANNING HISTORY

There have been a number of minor historic planning applications on this site relating to Mills Forgings; the following is the most recent/relevant:

Application Number	Description of Development	Decision and Date
FUL/2021/1257	Demolition of existing buildings and erection of part 2, part 3, part 4 and part 6-storey building for purpose-built student accommodation comprising 158 rooms, with associated communal and external amenity space, landscaping and cycle parking.	Refused 27/05/22 – issues around parking, amenity space, separation distances and privacy.

POLICY

National Policy Guidance

National Planning Policy Framework (NPPF) September 2023. The NPPF sets out the Government’s planning policies for England and how these are expected to be applied. It sets out the Government’s requirements for the planning system only to the extent that is relevant, proportionate and necessary to do so. The NPPF increases the focus on achieving high quality design and states that it is “fundamental to what the planning and development process should achieve”.

The National Planning Practice Guidance (NPPG) adds further context to the NPPF and it is intended that the two documents are read together.

Local Policy Guidance

The current local policy is provided within the Coventry Local Plan 2016, which was adopted by Coventry City Council on 6th December 2017. Relevant policy relating to this application is:

- Policy DS1: Overall Development Needs
- Policy DS3: Sustainable Development Policy
- Policy H3: Provision of New Housing
- Policy H10: Student accommodation
- Policy GE1 Green Infrastructure
- Policy GE3: Biodiversity, Geological, Landscape and Archaeological Conservation
- Policy GE4: Tree Protection
- Policy DE1 Ensuring High Quality Design
- Policy HE2: Conservation and Heritage Assets
- Policy HE3: Heritage Park – Charterhouse
- Policy JE3: Non-Employment Uses on Employment Land
- Policy JE7: Accessibility to Employment Opportunities
- Policy AC1: Accessible Transport Network
- Policy AC2: Road Network
- Policy AC3: Demand Management
- Policy AC4: Walking and Cycling
- Policy EM1: Planning for Climate Change Adaptation
- Policy EM2: Building Standards
- Policy EM3 Renewable Energy Generation
- Policy EM4 Flood Risk Management
- Policy EM5 Sustainable Drainage Systems (SuDS)
- Policy EM7 Air Quality
- Policy IM1: Developer Contributions for Infrastructure

Supplementary Planning Guidance/ Documents (SPG/ SPD):

SPD Design Guidelines for New Residential Development

SPD Delivering a More Sustainable City

SPD Coventry Connected

CONSULTATION

Statutory

No objections subject to conditions/contributions have been received from:

- Highways
- LLFA
- Environment Agency

Non-statutory

No Objections received from:

- West Midlands Fire Service

No objections subject to conditions/contributions have been received from:

- Archaeology
- Ecology
- West Midlands Police
- Environmental Protection
- NHS

Neighbour consultation

Immediate neighbours and local councillors have been notified; a site notice was posted on 08/06/23. A press notice was displayed in the Coventry Telegraph on 08/06/23.

11 letters of objection have been received, raising the following material planning considerations:

- a) Building is too close to the river and too tall. Multiple suggestions that the building should be limited to four story.
- b) Building is oppressive/an intensive overdevelopment and will be detrimental to the neighbouring properties and the river aspect.
- c) The design is not in keeping with the other developments and looks horrible and cheap. Tiny pod rooms are not suitable for habitation.
- d) Overlooking concerns/loss of light.
- e) Traffic and pedestrian/highway safety concerns. Existing parking pressures due to HMOs in the area. Site is on a dangerous bend.
- f) The scheme is contrary to Policy HE3 Heritage Park – Charterhouse and should include a riverside walkway.
- g) Scheme will impact upon the river corridor and wildlife.
- h) Concerns of noise and anti-social behaviour.
- i) Mills Forgings brings jobs to the local community and should be kept.

Of the above objections several are from the on-site lettings office at Willowbank Mews raising the following specific concerns:

- j) There is an office on-site and the close proximity of the proposed development means telephone conversations may be overhead giving rise to potential breaches of GDPR.

Historic Coventry have objected to the scheme on the grounds that the development is too tall and too close to the river, affecting ecology, putting the river/bank in shade and creating a canyon effect that is not attractive for the proposed riverside walk as set out in Policy HE3. Historic Coventry suggests the building be reduced to 4 storey and be set further back from the river, allowing the potential for future public access and reducing overshadowing.

The Coventry Society have objected to the scheme on two grounds, summarised as:

(i) The six-storey element of the proposal is intrusive and is an over-development. It will confine the River Sherbourne into a development canyon. The neighbouring student block to the south, 'Willowbank Mews', is four stories. The maximum height should be four story, similar to Willowbank Mews, so as to reduce the canyoning effect of successive riparian developments.

(ii) It is understood that the Council wish to open up and improve the River Sherbourne, yet the application pays no heed to this. The application, if approved, will prevent future public access alongside the Sherbourne and will do nothing to improve the character of the river nor the amenity value of the river to Coventry citizens.

Any further comments received will be reported within late representations.

APPRAISAL

The main issues in determining this application are principle of development, the design/impact upon the character of the area and heritage assets, the impact upon neighbouring amenity, highway considerations, flood risk, noise, contaminated land, air quality, ecology and infrastructure.

Principle of development

Loss of employment use

Policy JE3 'Non-Employment Uses on Employment Land' states that proposals for the redevelopment of employment land for non-employment purposes will not be permitted, unless it can be demonstrated that the site is:

- a) No longer suitable for employment use bearing in mind their physical characteristics, access arrangements and/or relationship to neighbouring land-uses and there is evidence of unsuccessful active and substantial marketing of the site for employment use using a variety of media which supports this; or
- b) It would not be financially viable to re-use or re-develop the land or buildings on the land in whole or in part for employment purposes; or
- c) The non-employment development proposed would be used for purposes which are clearly ancillary to and will support the operations of a primary employment use on the land; or
- d) The non-employment development would generate significant employment gains which are of sufficient weight to justify the loss of employment land.

In addition to at least one of the above criteria being satisfied it will also need to be demonstrated that:

- a) The potential of the site to contribute to the employment land requirements of the city over the plan period is not significant; and

- b) The proposal would not significantly compromise the viability or deliverability of other adjacent employment land or land allocated in this Plan for employment development; and
- c) The proposal will not have an unacceptable adverse impact on the continuing operation of any nearby existing businesses.

The Planning Statement advises that the site is part of Kimber Mills International, a forgings and machined parts manufacturer. The application site immediately adjoins two-storey Victorian terraced housing on Charterhouse Road, and purpose-built student accommodation to the south, at Willowbank Mews. It is therefore considered that the current industrial use is not appropriately sited and is physically constrained, not least by its approach along narrow residential roads. There is a strong case for its redevelopment to a more compatible residential use reflecting surrounding residential uses.

It is noted that the business will be retained within the West Midlands with the company in the process of consolidating its UK operations to a single larger site at Kimber Drop Forging Ltd in Cradley Heath, Sandwell.

The loss of the site would have minimal impact upon the employment land requirements for the City and would have no effect on nearby employment development potential or existing businesses in terms of the tests in Policy JE3 para 2a), 2b) and 2c). The neighbouring employment site to the north, occupied by the Midland Group Training Services, is accessed from Gulson Road and is functionally separate. The former industrial site to the south (now Willowbank Mews) was redeveloped for similar reasons.

There are no issues with the demolition of the existing buildings on site, which have no architectural or historic merit to warrant their retention.

The redevelopment of the existing employment use is therefore considered to be acceptable in principle.

Proposed Student accommodation

Policy H10 'Student Accommodation' states that purpose-built student accommodation will be encouraged where:

- a) It is directly accessible from the universities;
- b) Such development can play a part in the regeneration of the immediate neighbourhoods without disadvantage to local services;
- c) It will not materially harm the amenities of occupiers of nearby properties; and
- d) It will reflect and support or enhance the appearance and character of the area.

The Policy notes that to support the intended use of the proposals the specified tenure will be secured through a Section 106 agreement.

In terms of Policy H10 (a) - the site is within a sustainable location and directly accessible from Coventry University and is approximately 700 metres (a seven-minute walk) to Lanchester Library. In terms of the other points within Policy H10 the development is considered to provide a positive design solution that will regenerate the existing industrial site without detriment to local services or neighbouring amenity (these matters are expanded upon in the sections below). The student accommodation is therefore considered to comply with Policy H10 of the Coventry Local Plan 2016. In accordance

with Policy H10 it is proposed that the tenure will be restricted to students through a legal agreement.

Other matters

Officers recognised that the provision of purpose-built student accommodation can help to alleviate pressure on the conversion of family homes to HMOs. Although not all HMOs are occupied by students it is known that HMOs are an attractive option for students, particularly in their second and third years at university and especially in the context of a lack of reasonable alternatives. The continued growth of high quality, purpose built, well-managed and sustainably located student accommodation is therefore considered to provide positive benefits to the students occupying these buildings, but such developments also assist in facilitating a decline in the demand for HMOs with the future possibility of some HMOs to return to family dwellinghouses.

The scheme is therefore acceptable in principle.

Design/Impact on visual amenity

Policy DE1 of the Local Plan seeks to ensure high quality design and development proposals must respect and enhance their surroundings and positively contribute towards the local identity and character of an area.

The National Planning Policy Framework, paragraph 130 states that “Planning policies and decisions should ensure that developments:

- a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;
- b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;
- c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);
- d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;
- e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and
- f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.

The previous scheme refused under reference FUL/2021/1257 was considered to have a positive design ethos but was too intensive leading to a number of shortfalls around parking, amenity space, separation distances and privacy.

In order to overcome the previous concerns, the applicant has made significant changes to the bulk and mass of the building. The northern wing has been entirely removed resulting in a much larger area of outdoor amenity space and the southern wing has been substantially reduced in depth so that it no longer projects to the back of the footpath on Charterhouse Road. The scheme therefore no longer infills the existing ‘gap’ in built form

fronting the highway; however, it does provide a positive improvement with a small, landscaped car park/enclosed bin store behind new boundary walling.

The design of the facade (east elevation) fronting Charterhouse Road has been amended to provide front gable roof projections, which deliver a stronger sense of arrival to the street frontage, and which raise the status of the building's front entrance.

Whilst many representations suggest that the building should be limited to four storeys (matching the adjoining Willowbank Mews) it is considered that the six-storey element is well-proportioned and will positively address the River Sherbourne on the site's western boundary. There is an appropriate transitioning scale with the building stepping up towards the river, marking the interface with the River Sherbourne. It is also considered that a visual step-up in height is desirable between the linear terrace of Willowbank Mews and the proposed development, which will form a distinctive and recognisable riverside 'Mill' typology and vernacular. The building as a whole responds well to the pitched vernacular of the terraced housing and industrial warehouses surrounding the site and will provide a high-quality design solution.

A standing seam zinc roof has been introduced to upper stories to reduce the apparent mass of the building further. The materiality and style have been influenced by the local context, including a prevailing single red brick tone, stone detailing, and a pitched roof vernacular, derived from the existing terraced housing on Charterhouse Road as well as industrial buildings on and around the site, as well as the riverside setting. A condition is suggested to agree all elevational materials details.

The existing factory has a blank western elevation facing the river and the proposed scheme significantly improves natural surveillance to the river corridor. The proposal initially had projecting balconies on the western elevation, and these have been removed (and replaced with Juliet balconies) so that the western façade sits in line with the adjoining Willowbank Mews. The removal of the projecting balconies also reduces potential overlooking onto the neighbouring terrace.

The scheme provides a high-quality design solution, positively regenerating the area in accordance with Policies H10, DE1 and the aims and objectives of the NPPF.

Heritage assets

Policy HE2 'Conservation and Heritage Assets' states that in order to help sustain the historic character, sense of place, environmental quality and local distinctiveness of Coventry, development proposals will be supported where they conserve and, where appropriate, enhance those aspects of the historic environment which are recognised as being of special historic, archaeological, architectural, artistic, landscape or townscape significance.

The site is over 200m from both Far Gosford Street Conservation Area and London Road Conservation Area and some 350m from the Grade I listed Charter House. The scheme is not therefore considered to result in any impact upon heritage assets. Given these distances and intervening buildings the development will not impact upon the character or setting of the nearby conservation areas or listed buildings.

The Council's Archaeologist has requested an archaeological condition, as desk-based evidence suggests a potential for archaeology along the river. This will be conditioned accordingly.

There have been several objections from local residents and also Historic Coventry and the Coventry Society in relation to Policy HE3 of the Coventry Local Plan which relates to the Heritage Park – Charterhouse, and concern that the scheme does not contribute towards the improvement of linkages along the River Sherbourne.

Policy HE3 states schemes should include a riverside walkway along the exposed section of the River Sherbourne, connecting Far Gosford Street with Charterhouse. Policy HE3 Appendix 4 sets out the route which runs on the western side of the river. The application site is on the eastern side of the river and is not therefore contrary to Policy HE3 as it will not impede the proposed linkage. The adjoining development to the south (Willowbank Mews) is already located to the river edge and the scheme will reflect this.

It should be noted that the purpose-built student accommodation at the former Dairy Crest site on the opposite western bank of the river provides a riverside corridor between 9.6m and 11.5m wide with space for a minimum 5m wide footway/cycleway. Policy HE3 seeks to require any future redevelopment of land on the western bank to provide a continuation of this riverside walkway with the overall intention to connect Far Gosford Street with Charterhouse Park.

Whilst public access is not achievable on the eastern bank it is also undesirable from a biodiversity point of view, as the scheme includes enhancement of the eastern riverbank. There is still a benefit to the additional activity and natural surveillance that the scheme will bring to the riverside elevation opposite the walkway.

The scheme therefore complies with Policies HE2 and HE3.

Impact on residential amenity

In accordance with the SPD, a minimum distance of 20m is this Council's generally accepted guideline for there to be no material loss of privacy between the rear of two-storey buildings directly facing each other (i.e. a back-to-back relationship). Where residential development exceeds 2-storeys, it would be expected that separation distances should increase and this will be assessed on a case-by-case basis, taking account of local context.

The northern projecting wing in the previous planning application was considered to be too close to the rear (west) garden boundaries of properties on Charterhouse Road, dominating outlook. The deeper projecting southern wing also created an overlooking issue to rear gardens and impacted upon the outlook and light to the adjoining dwellinghouse at No.72 Charterhouse Road. The two wings also provided insufficient window-to-window separation distances between the elevations within the internal courtyard.

The applicant has taken a pragmatic approach to reducing built form on site to resolve previous concerns. The northern wing has been removed to greatly improve outlook from existing properties in Charterhouse Road. The distance between windows in the proposed six-storey element and the rear garden boundaries of terraced properties on

Charterhouse Road is a generous 28.5m. The window-to-window separation is 40m (to the terrace's rear outriggers) and 45m to the terrace's main rear walls.

The proposed four-storey southern wing has been reduced in depth so that it will now sit in a similar position to the existing two-storey office building on site. To better protect the privacy of adjoining neighbours the secondary windows to bedrooms in the upper floors of the east elevation have been made into blind windows and a condition is suggested to require the stairwell windows to be obscure glazed to limit outward views. Window-to-window separation is otherwise maintained to 20m to the closest residential properties flanking the site entrance.

The windows in the north elevation of the proposed southern wing are at 90-degrees to the properties on Charterhouse Road and given the oblique views there is no overlooking concern. The windows to the southern elevation of the wing face onto a private car park belonging to the adjoining Willowbank Mews. While the occupiers of the letting's office linked to this property have objected to the scheme regarding privacy the insertion of windows it is considered positive in terms of natural surveillance as this is onto a car park. A 'saw-tooth' window arrangement has been proposed to the section closest to Willowbank Mews to protect privacy between properties.

The proposed scheme, as amended, is not therefore considered to create any significant impact upon the outlook, light, privacy or amenity of existing residents.

The residential use is compatible with surrounding residential uses and comings and goings will be absorbed into existing movements within the street; however, a student management plan condition is suggested to agree managed arrangements for the beginning and end of terms for students moving into and out of the accommodation.

In terms of the future occupiers of the development the scheme is considered to provide a high-quality residential environment within a sustainable location close to shops, services, Coventry University campuses and public transport options.

The previous refusal reason included concerns that the proposed accommodation lacked both insufficient internal and external amenity space and self-catering facilities. The current scheme has improved internal amenity space and all floors will now have communal areas with a further decking area onto the river, lounge and gym at ground floor and a cinema room, yoga studio and shower/changing rooms in the basement. Each room will get a kitchenette to enable students to self-cater should they wish.

The external amenity space is greatly improved, and occupants will enjoy a private communal space accessible to all residents and free from vehicles (with emergency access provided for fire engines only).

In terms of future occupiers' health and safety the West Midlands Police have suggested security measures and a condition is suggested to ensure the building incorporates 'Secured by Design' standards such as CCTV, vandal proof lighting and access control systems. The scheme is supported by a Fire Statement and West Midlands Fire Service have no objections, subject to the scheme conforming to relevant Building Regulations (which is separate legislation).

Highway considerations

Policy AC1 'Accessible Transport Network' states that development proposals which are expected to generate additional trips on the transport network should: a) Integrate with existing transport networks including roads, public transport and walking and cycling routes to promote access by a choice of transport modes. b) Consider the transport and accessibility needs of everyone living, working or visiting the city. c) Support the delivery of new and improved high quality local transport networks which are closely integrated into the built form. d) Actively support the provision and integration of emerging and future intelligent mobility infrastructure.

Policy AC3 of the Local Plan acknowledges that the provision of car parking can influence occurrences of inappropriate on-street parking which can block access routes for emergency, refuse and delivery vehicles, block footways preventing access for pedestrians, reduce visibility at junctions and impact negatively on the street scene. Proposals for the provision of car parking associated with new development will be assessed on the basis of parking standards set out in Appendix 5. The car parking standards also include requirements for the provision of electric car charging and cycle parking infrastructure.

Parking provision should accord with the maximum standard expressed in Appendix 5 unless it has been clearly demonstrated that the site is in a highly accessible location where transport, by means other than the private car is a realistic alternative. In that respect lower levels of provision may be considered acceptable where the site is in close proximity to the City Centre, a train station, a high-quality rapid transport route or other public transport interchange and where there is a package of measures (proportionate to the scale of development) to enable sustainable means of transport. Any variation from the maximum standard must be fully justified by proportionate evidence.

Highways have advised that they support the largely car-free nature of the development. The local area is covered by the Charterhouse Residents Permit Parking Scheme, which limits on-street parking. Highways have requested a contribution of £6000 to support the continuation of the existing Residents Parking Scheme in the area.

The on-site car parking provision is acceptable to Highways. This also enables a managed on-site pick-up and drop off area for beginning/end of term and avoids traffic build up on Charterhouse Road. The management plan/booking system for vehicles will be secured by condition.

The Transport Statement (TS) indicates that there will be a significant reduction in trips associated with the proposed use when compared with the current use as an industrial site (Use Class B2), which is accepted by Highways. Given the site's close proximity to the University, it is also agreed that most trips to and from the site will be on foot, which is a further benefit to local traffic and air quality conditions.

Overall, the TS is a sound basis on which to base the principles of the development and to emphasise its car-free nature. One barrier to sustainable transport is that there are no formal pedestrian crossing points on Gulson Road west of the junction with Charterhouse Road. The first recognised location is adjacent to Mr Tyre, but this is only a pair of dropped kerbs and a pedestrian refuge. The highway authority proposes that this should be upgraded to a Zebra crossing to improve the route between the development and

Coventry University for pedestrians. As such, a request for a financial contribution of £40,000 is made to fund this improvement.

Coventry City Council monitors travel plans and for this a fee is charged to developers via a S106 agreement. The fee is £6,800 covering the duration of the travel plan (TP).

The relatively generous ratio of cycle parking spaces to bedroom is welcomed as a further encouragement of sustainable travel. These spaces will be secured by condition.

Additional conditions are suggested to secure a demolition/construction management plan, bin stores, car parking and access visibility spays.

Flood Risk

Policy EM4 states that all major developments must be assessed in respect of the level of flood risk from all sources. If development in areas at risk of flooding is the only option following the application of the sequential test, it will only be permitted where the criteria set out in Policy EM4 are met.

The application is supported by a flood risk assessment. The LLFA (Drainage) note that on the whole, the application site is within Main River Fluvial Flood Zone 1 and is considered to be at very low risk from flooding from this source, although an area of Fluvial Flood Zone 3 may encroach onto the site at the southern boundary. The LLFA have raised no objection to the scheme, subject to conditions to secure appropriate attenuation and SuDs solutions.

The Environment Agency (EA) have raised no objections to the scheme, subject to a condition to ensure that any remedial works where required are completed to a satisfactory standard in order to prevent the pollution of all Controlled Waters, notably the underlying Principal and Secondary A groundwater aquifers and the adjacent Sherbourne river. The applicant may also require separate EA consent to discharge into the river. This would be carried out under legislation separate to the planning process directly between the applicant and the EA.

Contaminated land

Policy EM6 seeks to ensure that redevelopment of previously developed land does not have a negative impact on water quality, either directly through pollution of surface or ground water or indirectly through the treatment of waste water by whatever means.

Environmental Protection (EP) consider that the submitted contaminated land report is acceptable in scope and that the remediation should be carried out in accordance with the details. A verification report will be required when the development is complete, which is secured by condition. The unexpected contamination condition should also be applied.

EP also note that they are aware of Japanese Knotweed along the river in this area. A condition is suggested to secure an invasive weeds survey.

Air quality

Policy EM7 states that major development schemes should promote a shift to the use of sustainable low emission transport to minimise the impact of vehicle emissions on air quality.

A condition is suggested to require EV charging points within the car park and low emission boilers. The construction management plan will also seek to control dust at demolition and construction phases.

The Sustainable Design Statement indicates that the development will meet the BREEAM Excellent rating (pre-assessment) and includes both heat pumps and solar PV to be located on the roof of the building.

Ecology

Policy GE3 states that Sites of Specific Scientific Interest (SSSIs), Local Nature Reserves (LNRs), Ancient Woodlands, Local Wildlife and Geological Sites will be protected and enhanced.

The Council's Ecologist notes that there are no records of notable wildlife from the site, although the site is within 200m of common frog records, within 400m of numerous bat records and within 700m of Lower Stoke Local Wildlife Site. The site is also adjacent to River Sherbourne, which is an important green/blue corridor.

The existing site is largely buildings and hardstanding that will have relatively low biodiversity value, although there is a strip of trees and natural vegetation adjacent to the river, which provides biodiversity value and contributes to overall value of the river corridor.

A Preliminary Ecological Assessment has been submitted, which provides background information, an assessment of bats and other protected species and recommendations for enhancements. The development includes green roofs, walls and wildlife-friendly planting. Biodiversity enhancement is to be integrated into the building and the Ecologist advises that overall, the approach to landscaping is welcomed and would lead to a clear overall enhancement of biodiversity on the existing site. These matters will be controlled and secured by conditions.

Officers are satisfied that the conditions to secure biodiversity enhancement and protective measures for protected species, suggested by the Council's Ecologist, will ensure the development accords with Policy GE3.

Following further discussion with the developer it has been suggested that there could be further enhancement to the planting alongside the river. This is outside of the red line application site but understood to be within the applicant's ownership. There is currently external plant and surfacing in this location but an amended plan is suggested to show planting to this area. A condition is recommended accordingly.

Developer Contributions

Policy IM1 'Developer Contributions for Infrastructure' states that development will be expected to provide or contribute towards provision of: a) Measures to directly mitigate its impact and make it acceptable in planning terms; and b) Physical, social and green infrastructure to support the needs associated with the development.

As this development relates 1-bedroom/student accommodation properties, Education will not be requesting a contribution.

As the scheme will provide student accommodation it is therefore exempt from the duty to provide affordable housing.

The development would trigger the need for the following contributions to be secured under a Section 106 Legal Agreement. The heads of terms are as follows:

Highways have asked for a Travel Plan Monitoring Fee of £6,800 and a contribution of £40,000 for the installation of a Zebra crossing on Gulson Road.

NHS (ICB) have asked for Improvements to off-site primary medical care and healthcare facilities – capital contribution required at £61,244.

UHCW have asked for a contribution towards acute healthcare of £89,817.

In accordance with Policy H10 it is proposed that the tenure will be restricted to students through a legal agreement.

The developer has agreed to the requested contributions/obligations.

Equality Implications

Section 149 of the Equality Act 2010 created the public sector equality duty. Section 149 states:-

(1) A public authority must, in the exercise of its functions, have due regard to the need to:

- a) eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under this Act;
- b) advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it;
- c) foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

Officers have taken this into account and given due regard to this statutory duty, and the matters specified in Section 149 of the Equality Act 2010 in the determination of this application.

There are no known equality implications arising directly from this development.

Conclusion

The proposed development is considered to be acceptable in principle and will not result in any significant impact upon neighbour amenity, highway safety, ecology or infrastructure, subject to relevant conditions and contributions. The reason for Coventry City Council granting planning permission is because the development is in accordance with: Policies DE1, HE2, H3, H10, JE3, AC1, AC2, AC3, AC4 & DS3 of the Coventry Local Plan 2016, together with the aims of the NPPF.

CONDITIONS/REASONS

1.	The development hereby permitted shall begin not later than 3 years from the date of this decision.
Reason	<i>To conform with Section 91 of the Town and Country Planning Act 1990 (as amended)</i>
2.	<p>The development hereby permitted shall be carried out in accordance with the following approved plans:</p> <p>Drg No. A100 Rev 2 (basement), A102 Rev 3 (Ground), A103 Rev 3 (First), A104 Rev 3 (Second), A105 Rev 3 (third), A106 Rev 2 (fifth), A107 Rev 2 (sixth), A108 Rev 2 (Roof), A110 Rev 4, A111 Rev 3, A112 Rev 5, Fire Statement Form, PRP Remediation Method Statement Ref: 81629-04 B, PRP Flood Risk Assessment Ref: 81629-02 B & Foul And Storm Water Drainage Strategy Ref: 81629-03 B, Futures Ecology Biodiversity Impact Assessment (BIA) Report Reference Number: FE94/BIA01 August 2023 & Preliminary Ecological Appraisal Ref: FE94/PEA01 23rd May 2023, DAS Ref: R.21.40 Rev A, ENS Noise Impact Assessment dated 10/08/23 and Technical note dated 17/08/23, Atlas Transport Statement May 2023.</p>
Reason	<i>For the avoidance of doubt and in the interests of proper planning</i>
3.	<p>No development (including any demolition) shall take place unless and until a Construction Management Plan (CMP) has been submitted to and approved in writing by the Local Planning Authority. The CMP shall include details of: - hours of work; - hours of deliveries to the site; - the parking of vehicles of site operatives and visitors during the demolition/construction phase; - the delivery access point; - the loading and unloading of plant and materials; - anticipated size and frequency of vehicles moving to/from the site; - the storage of plant and materials used in constructing the development; - the erection and maintenance of a security hoarding including decorative displays and facilities for public viewing where appropriate; - wheel washing facilities and other measures to ensure that any vehicle, plant or equipment leaving the application site does not carry mud or deposit other materials onto the public highway; - measures to control the emission of dust and dirt during demolition and construction; - measures to control the presence of asbestos; - measures to minimise noise disturbance to neighbouring properties during demolition and construction; - details of any piling together with details of how any associated vibration will be monitored and controlled; and - a scheme for recycling / disposing of waste resulting from demolition and construction works. Thereafter, the approved details within the CMP shall be strictly adhered to throughout the construction period and shall not be amended in any way.</p>
Reason	<i>The agreement of a Construction Management Plan prior to the commencement of development is fundamental to ensure a satisfactory level of environmental protection; to minimise disturbance to local residents</i>

	<i>and in the interests of highway safety during the construction process in accordance with Policies EM7, AC1 and AC2 of the Coventry Local Plan 2016.</i>
4.	Notwithstanding the details shown on the approved plans; prior to occupation of the development hereby permitted, details of cycle parking facilities shall be submitted to and approved in writing by the Local Planning Authority. The cycle parking facilities shall be provided in full accordance with the approved details prior to first occupation and thereafter those facilities shall remain available for use at all times and shall not be removed or altered in any way.
Reason	<i>In the interests of encouraging the use of alternative modes of transport with the aim of creating a more sustainable city in accordance with Policies DS3, AC3 and AC4 of the Coventry Local 2016.</i>
5.	Notwithstanding the requirements set out within condition 4, within one year of the first occupation (but not before 8 months of the first occupation) of the building hereby permitted, a review of the cycle parking facilities shall have been submitted to the Local Planning Authority. If the building is not full occupied when the initial review is carried out, a further review shall be carried out once the building is fully occupied and the details shall be submitted to the Local Planning Authority. If any review identifies the lack of cycle parking as a barrier to residents travelling by cycle, additional cycle parking shall be provided within 6 months of the date of that review in accordance with details that shall be submitted to and approved in writing by the Local Planning Authority. Thereafter such cycle parking shall remain available for use at all times and shall not be removed or altered in any way.
Reason	<i>In the interests of encouraging the use of alternative modes of transport with the aim of creating a more sustainable city in accordance with Policies DS3, AC3 and AC4 of the Coventry Local 2016.</i>
6.	The development hereby permitted shall be occupied unless and until the communal car parking spaces to be provided have been completed and marked out in full accordance with the approved drawings and made available for use by the occupants and / or visitors to the dwellings and thereafter those spaces shall be retained for parking purposes at all times and shall not be removed or altered in any way.
Reason	<i>To ensure the satisfactory provision of off-street vehicle parking facilities in accordance with the Council's standards and in the interests of highway safety and the satisfactory development of the site in accordance with Policies AC1, AC2 and AC3 of the Coventry Local Plan 2016.</i>

7.	Before the access hereby permitted is first used a 2.0 metre by 2.0 metre pedestrian visibility splay shall be provided at the back of the footway on either side of the proposed access in full accordance with the approved drawings. The visibility splays shall be retained thereafter with nothing in the visibility splay exceeding 600mm in height.
Reason	<i>In the interests of highway safety in accordance with Policies AC1 and AC2 of the Coventry Local Plan 2016.</i>
8.	No works to the footway shall be carried out until full engineering details have been submitted to and approved in writing by the Local Planning Authority. Before the development hereby permitted is first occupied all redundant existing vehicular access points on Charterhouse Road shall have been permanently closed and the footway reinstated, and any associated footway works completed in full accordance with the details shown on the approved drawings and the approved engineering details.
Reason	<i>In the interests of highway safety in accordance with Policies AC1 and AC2 of the Coventry Local Plan 2016.</i>
9.	Prior to the first occupation of the development hereby permitted, a Travel Plan shall be submitted to and approved in writing by the Local Planning Authority. The Travel Plan shall set out proposals (including a timetable and methods of monitoring the performance of the Plan), to promote travel by sustainable modes, and shall be implemented in accordance with the details specified therein and shall not be amended in any way.
Reason	<i>In the interests of encouraging the use of alternative modes of transport with the aim of creating a more sustainable city in accordance with Policies DS3,AC3 and AC4 of the Coventry Local 2016.</i>
10.	<p>Prior to their incorporation into the development hereby permitted, a scheme shall be submitted to, and approved in writing by, the Local Planning Authority (LPA) for:</p> <p>I. The provision of a Sustainable urban Drainage System (SuDS) in accordance with the latest available design guidance. The submission shall include all relevant details and calculations to enable a full evaluation to be undertaken, and clear and accountable consideration shall be given to the following features:-</p> <p>(a) General below ground attenuation, aimed solely at managing the quantity of water on site (Note: preference should be given to localised cellular storage unless there is no possible mechanism for doing so)</p> <p>(b) a flow control mechanism (or mechanisms) limiting the total site discharge offsite to Qbar greenfield rates or 5 l/s, whichever is greater. The</p>

discharge rates for brownfield sites shall be considered as greenfield in accordance with the CCC SFRA.

II. Provisions must be made for the drainage of the site to ensure there are no temporary increases in flood risk, on or off site, during the construction phase.

III. Evidence of the 1 in 100 year plus climate change events will be held within the site boundaries, by the designed drainage system and surface profile.

IV. The designer should consider the incorporation of water re-use systems such as grey water harvesting to manage down both peak and total rainfall runoff discharging to sewer systems, watercourses and groundwater.

V. The development must be considered for the implementation of permeable paving or similar permeable material for the partial reduction of flow and the improvement of water quality in accordance with Coventry City Council's adopted Supplementary Planning Document for 'Delivering a More Sustainable City'.

VI. Evidence must be provided to confirm that receiving water bodies or sewers are capable of accepting the attenuated flows specified by the Lead Local Flood Authority (LLFA) or Local Planning Authority (LPA) and that this will not exacerbate the flood risk on or off site. Evidence to confirm the acceptability of proposed point discharges to the infrastructure sewers.

VII. Evidence to show the management of overland flow routes in the event of exceedance or blockage of the drainage system. Details should include demonstration of how the building will be protected in such an event.

VIII. Finished floor slab levels must be 300mm above the 1 in 100-year pluvial flood levels, and above the 1 in 100-year fluvial flood levels.

IX. Provisions must be made for the drainage of the site to ensure there is no discharge of Name of officer responding: Mark Holden-Brown surface water to the Public Highway.

X. Where new or redevelopment site levels result in the severance, diversion or the reception of natural or engineered drainage flow, the developer shall maintain existing flow routes (where there are no flood risk or safety implications) or intercept these flows and discharge these by a method approved by the Local Planning Authority.

XI. Foul drainage plans.

The drainage works shall be installed in full accordance with the approved details prior to first occupation and thereafter shall be retained and shall not be removed or altered in any way.

Reason	<i>To ensure that adequate drainage facilities are available for the satisfactory and proper development of the site in accordance with Policy EM4 & EM5 of the Coventry Local Plan 2016.</i>
11.	Prior to the first occupation of the development hereby approved, a verification report demonstrating completion of the works set out in the approved remediation strategy and the effectiveness of the remediation shall be submitted to and approved, in writing, by the local planning authority. The report shall include results of sampling and monitoring carried out in accordance with the approved verification plan to demonstrate that the site remediation criteria have been met.
Reason	<i>To ensure that any remedial works where required are completed to a satisfactory standard in order to prevent the pollution of all Controlled Waters, notably the underlying Principal and Secondary A groundwater aquifers and the adjacent Sherbourne river in accordance with Policy EM6 of the Coventry Local Plan 2016.</i>
12.	The development hereby permitted shall only proceed in strict accordance with a scheme for targeting and utilising local people for construction and employment, which shall be submitted to an approved in writing by the Local Planning Authority.
Reason	<i>To secure local employment in accordance with the City Council jobs strategy and Policy JE7 of the Coventry Local Plan 2016.</i>
13.	Any gas boilers installed on site shall have a dry NOx emission rate of no more than 40mg/kWh. Two electric vehicle recharging points shall be provided prior to occupation and shall not be removed or altered in any way and shall be kept available for such use by staff/residents/visitors at all times.
Reason	<i>To mitigate the impacts of development on air quality in accordance with Policy DS3 of the Coventry Local Plan 2016 and the aims and objectives of the NPPF.</i>
14.	Prior to their incorporation into the development hereby permitted, a scheme to meet 'Secured by Design' which includes: CCTV, vandal proof lighting and access control systems, shall be submitted to and approved in writing by the Local Planning Authority. These measures shall be installed in full accordance with the approved details prior to the first occupation of the development and thereafter shall be retained and shall not be removed or altered in any way.
Reason	<i>To ensure Secured by Design standards are met, in the interests of safety and security and the health and wellbeing of future occupiers of the development in accordance with Policies DS3, H3 and DE1 of the Coventry</i>

	<i>Local Plan 2016.</i>
15.	Prior to the first occupation of the building hereby permitted, a student management scheme shall be submitted to and approved in writing by the Local Planning Authority; which sets out clear arrangements for the beginning and end of terms for students moving into and out of the accommodation. Thereafter the building shall only operate in full accordance with the approved details which shall not be amended in any way.
Reason	<i>To ensure that the development is compatible with nearby uses and so that it does not adversely impact upon the safe and free flow of traffic in the vicinity of the site in accordance with Policies AC1, AC2 and AC3 of the Coventry Local Plan 2016.</i>
16.	Prior to their incorporation into the development, details of: -window/ door frame colour and materials; -glazing details; -brick and mortar details; -cladding details including colour/finish and profile, fixing systems and joint details; -details of any rainwater goods; -details of any vents/grilles; -details of roof top safety rail systems; and -details of any plant enclosure or similar structures shall be submitted to and approved in writing by the Local Planning Authority. These details shall be installed only in full accordance with the approved details prior to the first occupation of the development and thereafter shall be retained and shall not be removed or altered in any way.
Reason	<i>To ensure that the proposed development has a satisfactory external appearance in the interests of the visual amenities of the area in accordance with Policy DE1 of the Coventry Local Plan 2016.</i>
17.	No fixed plant and/or machinery shall be operated unless and until details of the fixed plant and/or machinery including any mitigation measures, has been submitted to and approved in writing by the local planning authority. The rating level of the noise emitted from the plant and machinery shall not exceed the current background noise level at the nearest off-site noise sensitive receptor. The noise levels shall be determined by measurements or calculations at the nearest off site, noise sensitive premises. The measurements and assessment shall be made according to BS 4142:2014. All details shall be carried out as approved and mitigation measures shall remain in place thereafter.
Reason	<i>To safeguard the amenities of the adjoining occupiers of the development in accordance with Policy DS3 of the Coventry Local Plan 2016.</i>
18.	The development hereby permitted shall not be occupied unless and until the bin storage area(s) have been laid out and provided in full accordance with the approved details and thereafter those facilities shall remain

	available for use at all times. All bins which serve the development within the red line site area must be stored within the approved bin storage area and not positioned on the public highway or in the open, unless on bin collection days.
Reason	<i>In the interests of the amenities of future occupants of the residential accommodation and neighbouring occupiers in accordance with Policies DE1 and H10 of the Coventry Local Plan 2016.</i>
19.	<p>No demolition/development shall take place/commence until a written scheme of investigation (WSI) has been submitted to and approved by the local planning authority in writing. For land that is included within the WSI, no demolition/development other than down to slab level shall take place other than in accordance with the agreed WSI, which shall include the statement of significance and research objectives; and:</p> <ul style="list-style-type: none"> - The programme and methodology of site investigation and recording and the nomination of a competent person(s) or organisation to undertake the agreed works - The programme for post-investigation assessment and subsequent analysis, publication & dissemination and deposition of resulting material. This part of the condition shall not be discharged until these elements have been fulfilled in accordance with the programme set out in the WSI.
Reason	<i>The submission of these details prior to the commencement of development is fundamental to mitigate the effect of the works associated with the development upon any heritage assets and to ensure that information regarding these heritage assets is preserved by record for this and future generations in accordance with Policy HE2 of the Coventry Local Plan 2016</i>
20.	No development (including any demolition or preparatory works) shall commence unless and until an Invasive Non-Native Species Protocol (INNSP) has been submitted to and approved in writing by the Local Planning Authority. The INNSP shall detail the timing and method of containment, control and removal of Japanese Knotweed from the site. The development shall only proceed only in full accordance with the measures identified in the approved INNSP.
Reason	<i>To ensure that protected species are not harmed by the development in accordance with Policy GE3 of the Coventry Local Plan 2016 and the advice contained within the NPPF.</i>
21.	The approved remediation scheme must be carried out in accordance with its terms prior to the commencement of development other than that required to carry out the remediation. The Local Planning Authority must be given two weeks written notification of commencement of the remediation scheme works.

Reason	<i>To safeguard health, safety and the environment in accordance with Policy EM6 of the Coventry Local Plan 2016 and the aims and objectives of the NPPF.</i>
22.	Prior to occupation of the development hereby permitted and following completion of the measures identified within the remediation scheme (PRP Remediation Method Statement Ref: 81629-04 B), a verification report that demonstrates the effectiveness of the remediation carried out must be produced and submitted to the Local Planning Authority for approval in writing
Reason	<i>To safeguard health, safety and the environment in accordance with Policy EM6 of the Coventry Local Plan 2016 and the aims and objectives of the NPPF.</i>
23.	In the event that contamination or unusual ground conditions are encountered during the development it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken, and where remediation is necessary, a remediation scheme must be prepared for submission to and approval in writing of the Local Planning Authority. Following completion of the measures identified within the approved remediation scheme, a verification report must be prepared for submission to and approval of the Local Planning Authority.
Reason	<i>To safeguard health, safety and the environment in accordance with Policy EM6 of the Coventry Local Plan 2016 and the aims and objectives of the NPPF.</i>
24.	Prior to the first occupation of the development hereby permitted, details of general ecological habitat enhancement measures and hedgehog mitigation measures shall be submitted to and approved in writing by the Local Planning Authority. Such measures shall include; retention and management of boundary vegetation, and hedgehog friendly boundary fencing and gates. The habitat enhancement measures shall be undertaken in strict accordance with the approved details prior to the first occupation of the development and thereafter shall be retained and shall not be removed or altered in any way.
Reason	<i>To ensure that protected species are not harmed by the development in accordance with Policy GE3 of the Coventry Local Plan 2016 and the advice contained within the NPPF.</i>
25.	Prior to the first occupation of the development hereby permitted details of bat / bird boxes and riverside access routes for riparian animals shall be submitted to and approved in writing by the Local Planning Authority. The bat / bird boxes and riverside access routes for riparian animals shall be

	fully installed in strict accordance with the approved details prior to the first occupation of the development and thereafter shall be retained and shall not be removed or altered in any way.
Reason	<i>To ensure that protected species are not harmed by the development in accordance with Policy GE3 of the Coventry Local Plan 2016 and the advice contained within the NPPF.</i>
26.	No removal of trees/hedges/shrubs or demolition of buildings/structures shall take place between 1st March and 31st August (inclusive) unless a survey to assess the nesting bird activity on the site during this period has been undertaken by a qualified surveyor, and a scheme to protect any nesting birds identified on the site has first been submitted to and approved in writing by the Local Planning Authority. No trees/hedges/shrubs shall be removed or buildings/structures shall be demolished between 1st March and 31st August (inclusive) other than in strict accordance with the approved bird nesting protection scheme.
Reason	<i>To ensure that protected species are not harmed by the development in accordance with Policy GE3 of the Coventry Local Plan 2016 and the advice contained within the NPPF.</i>
27.	Prior to the first occupation of the development hereby permitted a Landscape and Ecological Management Plan (LEMP) shall be submitted to and approved in writing by the Local Planning Authority. The content of the LEMP shall include the following: a) Description and evaluation of features to be managed; b) Ecological trends and constraints on site that might influence management; c) Aims and objectives of management, including mitigation and enhancement for species identified on site; d) Appropriate management option for achieving aims and objectives; e) Prescriptions for management actions; f) Preparation of a work schedule (including an annual work plan capable of being rolled forward over a ten-year period); g) Details of the body or organisation responsible for implementation of the plan, along with funding mechanism(s) for that body or organisation; h) Ongoing monitoring and remedial measures, including where monitoring shows that conservation aims and objectives of the LEMP are not being met; i) improvements alongside the riverbank. The LEMP plan shall be implemented in strict accordance with the approved details within three months of the first occupation of the development and thereafter shall not be withdrawn or amended in any way.
Reason	<i>In order to safeguard and enhance habitat on or adjacent to the site in order to secure an overall biodiversity gain in accordance with Policy GE3 of the Coventry Local Plan 2016.</i>
28.	No development (including any demolition or preparatory works) shall commence unless and until a survey for the presence of bats has been carried out by a qualified surveyor and has been submitted to and approved

	<p>in writing by the Local Planning Authority. Should the presence of bats be found then no demolition or preparatory works shall take place until full details of measures for bat mitigation and conservation in accordance with good practice guidelines have been submitted to and approved in writing by the Local Planning Authority. All works shall be implemented in strict accordance with the approved timings and details and once undertaken any mitigation works shall not be removed or altered in any way.</p>
Reason	<p><i>To ensure that protected species are not harmed by the development in accordance with Policy GE3 of the Coventry Local Plan 2016 and the advice contained within the NPPF.</i></p>
29.	<p>Prior to the installation of any street lighting or any external lighting to be fixed to any building(s), an external lighting strategy (including a plan) shall be submitted to and approved in writing by the Local Planning Authority. The strategy shall demonstrate that lighting shall be kept to a minimum at night in order to minimise impact on emerging and foraging bats, and to restrict light spillage onto foraging corridors. The lighting shall be installed in full accordance with the approved strategy and all lighting thereafter shall be subsequently maintained in strict accordance with the approved details.</p>
Reason	<p><i>To ensure that protected species are not harmed by the development in accordance with Policy GE3 of the Coventry Local Plan 2016 and the advice contained within the NPPF.</i></p>
30.	<p>Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended), or any statutory instrument amending, revoking and/or replacing that Order, the windows be formed in the east facing elevation of the building hereby permitted (serving the stairwell and annotated as No.10 Etched Glazing With Building Branding on Drg No. A112 Rev 5) shall only be glazed or re-glazed with obscure glass and non-openable window units.</p>
Reason	<p><i>In the interests of the amenities of the occupiers of nearby properties in accordance with Policy DE1 of the Coventry Local Plan 2016.</i></p>
31.	<p>Prior to its incorporation into the development, details of the mural to the northern elevation shall be submitted to and approved in writing by the Local Planning Authority. Details shall include mural design, colours and material finish and/or brickwork detailing. All details shall be installed only in full accordance with the approved details prior to the first occupation of the development and thereafter shall be retained and shall not be removed or altered in any way. The mural shall not contain commercial advertising.</p>
Reason	<p><i>To ensure that the proposed development retains a satisfactory external appearance in the interests of the visual amenities of the area in accordance with Policy DE1 of the Coventry Local Plan 2016.</i></p>

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Existing Concrete and Temporary structures removed to enable enhance planting and grading of banking

Open Decking on stilts

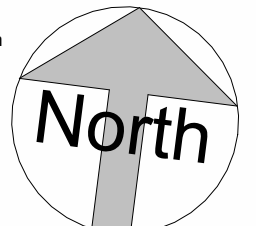
Level 00 Ground Floor
1 : 100

Room Types
1 : 100

- Studio
- WCA - Studio
- Communal Amenity
- Ancillary



--- Planning Application Red Line Boundary



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AREA CALCULATIONS
The areas shown are approximate only and have been measured off preliminary drawings as the likely areas at the current state of design using the stated option from the Code of Measuring Practice, 6th edition. These may be affected by future design development and construction tolerances, or the result of surveys for existing buildings. Take account of these factors before planning any financial or property development purpose or strategy and seek confirmation of latest areas before decision making.

Rev	Date	Revision Description	Issued by
1	24/05/23	Updated GA's	
2	20/06/23	Updated showing enhanced river bank	
3	04/07/23	Vision Splay, Updated Layout and Externals	

Client
Sama Investments

Project
Charterhouse

Job Number
R.21.40.

Client
Sama Investments

Project
Charterhouse

Job Number
R.21.40.

ADG ARCHITECTS

Drawing Title
Proposed Ground Floor Plan

Drawing Issue
Feasibility

Drawing Number
A102

A1 Scale
1 : 100



1 Section Elevation A-A
1 : 100



2 Section B-B
1 : 100



3 Legend
1 : 500

1. Dark Grey Zinc Standing Seam Cladding
2. Red Brick
3. Dark Grey Powder Coated Glazing
4. Dark Grey Spandrel Glazing
5. Dark Grey Aluminium Composite Fin/Shade
6. Flat Dark Zinc Spandrel Panel
7. Corten Vertical Louvers
8. Textured Brick Spandrel Panel
9. Dark Grey - Precast Coping
10. Etched Glazing With Building Branding
11. Galvanised Powder Coated 50x10 Flat Balustrade

Material Key
1 : 50

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Rev	Date	Revision Description	Issued by	Client
1	24/05/23	Updated GAs		Sama Investments
2	20/06/23	Updated showing enhanced river bank		
3	14/07/23	Gridlines introduced, Balcony removed		Project Charterhouse
4	23/08/23	River Bank Levels updated, Balcony Supports added		
				Job Number R.21.40..

Proposed Elevational Sections
Feasibility

ADC ARCHITECTS

Drawing Number: A110
A1 Scale: As indicated
A3 Scale: As indicated



1 East
1 : 100



3 East Elevation
1 : 100



2 North Elevation
1 : 100

1. Dark Grey Zinc Standing Seam Cladding
2. Red Brick
3. Dark Grey Powder Coated Glazing
4. Dark Grey Spandrel Glazing
5. Dark Grey Aluminium Composite Fin/Shade
6. Flat Dark Zinc Spandrel Panel
7. Corten Vertical Louvers
8. Textured Brick Spandrel Panel
9. Dark Grey - Precast Coping
10. Etched Glazing With Building Branding
11. Galvanised Powder Coated 50x10 Flat Balustrade

Material Key
1 : 50



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AREA CALCULATIONS
The areas shown are approximate only and have been measured off preliminary drawings at the best of the current state of design using the digital option from the Code of Measuring Practice, 8th edition. These may be affected by future design development and construction tolerances, or the result of surveys for existing buildings. Take account of these factors before planning any financial or property development purpose or strategy and seek confirmation of areas before decision making.

Rev	Date	Revision Description	Issued by
1	24/05/23	Updated GAs	
2	04/07/23	IPV relocated, Entrance / Landscaping updated, Upper windows Windows Facing moved, Front Gables added	
3	04/07/23	Guide introduced, Mural Add, Balcony Removed, Windows Relocated/removed	
4	01/08/23	Blind/Tie Window	
5	23/08/23	Rover Blank Levels updated, Balcony Supports added	

Client
Sama Investments

Project
Charterhouse

Job Number
R.21.40..

ATG ARCHITECTS

Drawing Title
Proposed North & East Elevation

Drawing
Feasibility

Drawing Number
A112

A1 Scale
As indicated

A3 Scale
As indicated

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Planning Committee Report	
Planning Ref:	RMM/2022/0679
Site:	Land at Fivefield Road and Tamworth Road
Ward:	Bablake.
Proposal:	Submission of Reserved Matters for 19no. dwellings off Tamworth Road, for all matters outstanding pursuant to permission OUT/2019/0022 granted on 7th February 2022 for the demolition of all existing buildings and the erection of up to 550 dwellings, and creation of associated vehicular accesses to Tamworth Road and Fivefield Road, pedestrian/cycle and emergency accesses, highway improvements to Fivefield Road, parking, landscaping, drainage features, open space and associated infrastructure, with all matters to be reserved except access points into the site
Case Officer:	Emma Spandley

SUMMARY

The application relates to a parcel of land that is contained within the housing allocation H2:1, called Keresley Sustainable Urban Extension (SUE). The entire allocation is for 3,100 dwellings.

Application OUT/2019/0022 was submitted; heard at the 4th March 2021 Planning Committee meeting and subsequently approved the demolition of all existing buildings and the erection of up to 550 dwellings and creation of associated vehicular accesses to Tamworth Road and Fivefield Road, pedestrian/cycle and emergency accesses, diversion of public rights of way, highway improvements to Fivefield Road, parking, landscaping, drainage features, open space and associated infrastructure, with all matters to be reserved except access points into the site (in part).

The redline site area for application OUT/2019/0022 extended to some 27ha. The current application forms a small part of the outline permission and seeks permission for the outstanding details relating to appearance, landscaping, layout and scale only of 19no dwellings of the 550no approved.

The following reserved matters application are underpinned by the outline application. Please see the table below.

<u>OUT/2019/022 – 550no Dwellings</u>	
RMM/2022/0633	280no. Dwellings
RMM/2022/0636	35no. Dwellings
RMM/2022/0678	201no. Dwellings
RMM/2022/0679	19no. Dwellings
<u>TOTAL</u>	<u>535no. Dwellings (-15)</u>

BACKGROUND

The site was previously designated Green Belt land; however, it was removed from the Green Belt following independent examination by an Inspector at Local Plan Examination in Public and allocated for housing as a Sustainable Urban Extension (SUE). The specific housing requirements are allocated under H2:1.

Application OUT/2019/0022 was submitted; heard at the 4th March 2021 Planning Committee meeting and subsequently approved the demolition of all existing buildings and the erection of up to 550 dwellings and creation of associated vehicular accesses to Tamworth Road and Fivefield Road, pedestrian/cycle and emergency accesses, diversion of public rights of way, highway improvements to Fivefield Road, parking, landscaping, drainage features, open space and associated infrastructure, with all matters to be reserved except access points into the site (in part).

The outline permission permitted the removal of certain trees and hedgerows which were identified within the FLAC Tree Survey 2019, which was submitted at the time of the outline application; one of the trees was T7025. This is the tree subject to the petition to retain it.

The redline site area for application OUT/2019/0022 extends to some 27ha. The current application forms a small part of the outline permission.

KEY FACTS

Reason for report to committee:	A petition against the removal of T7025
Current use of site:	Agricultural
Proposed use of site:	Residential

RECOMMENDATION

Planning committee are recommended to grant planning permission, subject to the conditions listed in the report, and

Delegate authority to the Strategic Lead Planning to agree any amendments to these conditions set out within the report, which are considered necessary.

REASON FOR DECISION

The proposal has outline permission for 550no houses with associated works.

The principle of re developing the site has been secured.

The removal of T7025 has been secured under the outline permission.

The proposal will not adversely impact upon highway safety, air quality, drainage/flooding, ancient woodland or ecology as these were assessed under the outline permission OUT/2019/0022.

The proposal has been designed with Ancient Arden principles and complies with the adopted SPDs.

The proposal accords with Policies DS1, DS3, DS4, H1, H2, H3, H4: H6, H9, GE1, GE3, GE4, DE1, HE2, JE7, HW1, AC1, AC2, AC3, AC4, AC5, EM1, EM2, EM3, EM4, EM5, EM6, EM7 and IM1 of the Coventry Local Plan 2016, together with the aims of the NPPF.

APPLICATION PROPOSAL

The application seeks approval for the appearance, landscaping, layout and scale only of 19no dwellings, out of the 550no dwellings approved under the outline permission, OUT/2019/0022.

OUT/2019/0022 was approved in outline form with the access points subject to conditions.

Condition No.1 of the outline planning permission (OUT/2019/0022) requires the submission of the remaining reserved matters details for approval in respect of appearance, layout, scale, landscaping.

The outline planning permission approved two parameter plans to establish the parameters for the development and to inform the subsequent reserved matters submissions.

Compliance with the parameter plans and the other specific requirements are secured by Condition No.4 of the outline planning permission.

Further requirements are set out with the S106 agreement.

The proposed application proposes the erection of 19no. houses.

The following table sets out the proposed bedroom numbers.

<u>4 Bedroom</u>	<u>5 Bedroom</u>	<u>7 Bedroom</u>
13no. dwellings	5no. dwellings	1no dwelling

SITE DESCRIPTION

The application site is located on the eastern side of Tamworth Road, with one access to the site opposite Highcroft and Dell Quay; in between Berrynarbor to the north and Troyswood House to the south. This access will serve: Plots No.2 – No.14 (inclusive), making a total of 13no houses.

A private drive is located between Keresley Garage to the north and Kingswood House to the south to serve Plot No.1, and a secondary access is proposed in between Kingswood House to the north and Queenswood to the south. This private drive will serve Plots No.15 – No.19 (inclusive) a total of five houses.

The entire application site is bounded to the east by Pikehorne Wood and The Alders.

PLANNING HISTORY

There have been no applications relating to the actual parcel of land, however, there are a range of applications that have been approved or are pending which all relate to the Keresley SUE.

The following is a table setting out the applications that relate to the entire SUE.

Application Number	Description of Development	Decision and Date
<u>Taylor Wimpey</u>		
OUT/2014/2282	Outline application for the erection of up to 800 dwellings, with associated Local Centre comprising Convenience Store (Class A1) Retail/Commercial Units (Class A1, A2, A3, A5 and/or D1); a Primary School; Public Open Space (including equipped play area); allotments; nature conservation area; and landscaping; with all matters reserved except for means of vehicular access to the site from Tamworth Road and Bennetts Road South.	Approved 12/02/2018
RMM/2019/1030	Submission of reserved matters (layout, internal access arrangements, scale, appearance and landscape details) for Phase 1 comprising of 322 dwellings and details of green infrastructure strategy for all phases (excluding third party land) and a temporary construction access pursuant to OUT/2014/2282 for up to 800 dwellings, local centre, primary school, public open space (all matters reserved except vehicular access from Tamworth Road and Bennetts Road South). The outline application was an EIA application and an Environmental Statement was submitted with it.	Approved 20/11/2019
S73/2020/0285	Variation of condition 8 (to allow one retail unit within the local centre to have floorspace up to 500 sq m) imposed upon outline permission OUT/2014/2282 for the erection of up to 800 dwellings, with associated Local Centre comprising Convenience Store (Class A1) Retail/Commercial Units (Class A1, A2, A3, A5 and/or D1); a Primary School; Public Open Space (including equipped play area); allotments; nature conservation area; and landscaping; The outline application was accompanied by an Environmental Statement	Approved 22/04/2020

RM/2020/2399	Submission of reserved matters (layout, internal access arrangements, scale, appearance and landscaping) for Phases 2A and 2B comprising 394 dwellings, pursuant to outline permission OUT/2014/2282. The outline application was accompanied by an Environmental Statement.	Approved 29/11/2021
RMM/2021/2514	Submission of reserved Matters in accordance with condition 1 for layout, internal access arrangements, scale, appearance and landscape details for local centre, comprising of 1,505sqm across seven units pursuant to planning permission S73/2020/0285 granted on 22nd April 2020 for Variation of condition 8 (to allow one retail unit within the local centre to have floorspace up to 500 sq m) imposed upon outline permission OUT/2014/2282 for the erection of up to 800 dwellings, with associated Local Centre comprising Convenience Store (Class A1) Retail/Commercial Units (Class A1, A2, A3, A5 and/or D1); a Primary School; Public Open Space (including equipped play area); allotments; nature conservation area; and landscaping; The outline application was accompanied by an Environmental Statement.	Pending
S73M/2021/2515	Variation of condition No. 56 (Hours of Delivery) and removal of condition No. 31 (Requirement for Green Roofs) imposed on planning permission S73/2020/0285 - Variation of condition 8 (to allow one retail unit within the local centre to have floorspace up to 500 sq m) imposed upon outline permission OUT/2014/2282 for the erection of up to 800 dwellings, with associated Local Centre comprising Convenience Store (Class A1) Retail/Commercial Units (Class A1, A2, A3, A5 and/or D1); a Primary School; Public Open Space (including equipped play area); allotments; nature conservation area; and landscaping; The outline application was accompanied by an Environmental Statement, granted on 22nd April 2020	Pending

<u>Bellway</u>		
OUT/2019/0022	Outline application for the demolition of all existing buildings and the erection of up to 550 dwellings and creation of associated vehicular accesses to Tamworth Road and Fivefield Road, pedestrian/cycle and emergency accesses, diversion of public rights of way, highway improvements to Fivefield Road, parking, landscaping, drainage features, open space and associated infrastructure, with all matters to be reserved except access points into the site (in part).	Approved 07/02/2022
RMM/2022/0633	Submission of Reserved Matters for 282 dwellings off Fivefield Road, for all matters outstanding pursuant to permission OUT/2019/0022 granted on 07/02/2022 for the demolition of all existing buildings and the erection of up to 550 dwellings, and creation of associated vehicular accesses to Tamworth Road and Fivefield Road, pedestrian/cycle and emergency accesses, highway improvements to Fivefield Road, parking, landscaping, drainage features, open space and associated infrastructure, with all matters to be reserved except access points into the site	Pending
RMM/2022/0636	Submission of Reserved Matters for 37 dwellings off Keresley Link Road, for all matters outstanding pursuant to permission OUT/2019/0022 granted on 7th February 2022 for the demolition of all existing buildings and the erection of up to 550 dwellings, and creation of associated vehicular accesses to Tamworth Road and Fivefield Road, pedestrian/cycle and emergency accesses, highway improvements to Fivefield Road, parking, landscaping, drainage features, open space and associated infrastructure, with all matters to be reserved except access points into the site.	Pending
RMM/2022/0678	Submission of Reserved Matters for 205 dwellings off Tamworth Road, for all matters outstanding pursuant to permission OUT/2019/0022 granted on	Pending

	7th February 2022 for the demolition of all existing buildings and the erection of up to 550 dwellings, and creation of associated vehicular accesses to Tamworth Road and Fivefield Road, pedestrian/cycle and emergency accesses, highway improvements to Fivefield Road, parking, landscaping, drainage features, open space and associated infrastructure, with all matters to be reserved except access points into the site	
RMM/2022/0680	Submission of Reserved Matters for the Ancient Woodland Buffer off Tamworth Road, for all matters outstanding pursuant to permission OUT/2019/0022 granted on 7th February 2022 for the demolition of all existing buildings and the erection of up to 550 dwellings, and creation of associated vehicular accesses to Tamworth Road and Fivefield Road, pedestrian/cycle and emergency accesses, highway improvements to Fivefield Road, parking, landscaping, drainage features, open space and associated infrastructure, with all matters to be reserved except access points into the site.	Approved 03/08/2023
<u>Thompsons Farm</u>		
OUT/2019/0484	Outline permission for the erection of up to 500 residential dwellings with all matters reserved with the exception of access and comprising of: The demolition of Thompsons Cottage and associated buildings; Provision of green infrastructure including strategic open space, sustainable urban drainage, green networks, play space and associated structural and general landscaping; A vehicular access point and emergency access point onto Bennetts Road North; Network of pedestrian and cycle routes; and All associated infrastructure and enabling works	Approved 05/07/2022
FUL/2022/1981	Installation and formation of highway and drainage infrastructure works pursuant to OUT/2019/0484 granted on 05/07/2022 for erection of up to 500 residential dwellings with all matters reserved with the	Pending

	exception of access and comprising of: The demolition of Thompsons Cottage and associated buildings; Provision of green infrastructure including strategic open space, sustainable urban drainage, green networks, play space and associated structural and general landscaping; A vehicular access point and emergency access point onto Bennetts Road North; Network of pedestrian and cycle routes; and All associated infrastructure and enabling works.	
RMM/2022/1982	Submission of reserved matters (appearance, landscaping, layout and scale) for the erection of 329no. dwellings and associated infrastructure pursuant to planning permission OUT/2019/0484 granted on 05/07/2022 for erection of up to 500 residential dwellings with all matters reserved with the exception of access and comprising of: The demolition of Thompsons Cottage and associated buildings; Provision of green infrastructure including strategic open space, sustainable urban drainage, green networks, play space and associated structural and general landscaping; A vehicular access point and emergency access point onto Bennetts Road North; Network of pedestrian and cycle routes; and All associated infrastructure and enabling works.	Pending
RMM/2022/2615	Submission of Reserved Matters (appearance, landscaping, layout and scale) for the erection of 171no. dwellings and associated infrastructure pursuant to planning permission OUT/2019/0484 granted on 05/07/2022 for erection of up to 500 residential dwellings with all matters reserved with the exception of access and comprising of: The demolition of Thompsons Cottage and associated buildings; Provision of green infrastructure including strategic open space, sustainable urban drainage, green networks, play space and associated structural and general landscaping; A vehicular access point and emergency	Pending

	access point onto Bennetts Road North; Network of pedestrian and cycle routes; and All associated infrastructure and enabling works.	
<u>Rookery Farm</u>		
OUT/2019/2277	Proposed residential development (up to 40 dwellings) with associated landscaping/open space, drainage and highway infrastructure (outline application - all matters reserved except access into the site)	Approved 06/03/2020
RMM/2021/0314	Submission of reserved matters under condition 1 for details of appearance, landscaping, layout and scale for 40 dwellings together with associated landscaping/open space, drainage and highway infrastructure and temporary construction access from land to the north west pursuant to planning permission OUT/2019/2277 granted on 6th March 2020 for outline permission with access.	Approved 13/07/2021
<u>Colliery Club</u>		
FUL/2020/2615	Demolition of existing structures to facilitate residential development with associated access, parking, landscaping and drainage.	Approved 25/03/2021
<u>David Wilson / Barratts Homes</u>		
FUL/2020/0748	Erection of 388no. dwellings (C3), public open space, landscaping, drainage attenuation areas, access from Bennetts Road and Penny Park Lane, access roads, land safeguarded for a new Link Road, and other associated works. This application is accompanied by an Environmental Statement.	Pending
<u>Manor Farm Cottages</u>		
FUL/2021/3173	Erection of two new dwellings with upgraded access and parking (Use Class C3)	Approved 02/02/2022

FUL/2022/3213	Erection of One new dwellings with upgraded access and parking (Use Class C3)	Approved 05/01/2021
<u>Richborough / Queen College Oxford (QCO)</u>		
OUT/2022/0712	Outline application for the demolition of all existing buildings (save for Poddy Cottage) and the erection of up to 290 dwellings and creation of associated vehicular accesses to Bennetts Road and Fivefield Road, pedestrian/cycle accesses, diversion of public rights of way, highway improvements, parking, landscaping, drainage features, open space, and associated infrastructure, with all matters to be reserved except vehicular access points into the site.	Approved Planning Committee 23 rd February 2023 Decision Issued 23/06/2023
OUT/2022/0713	Outline application for the demolition of all existing buildings (save for Manor Farm Cottage) and the erection of up to 260 dwellings and creation of associated vehicular accesses to Bennetts Road, pedestrian/cycle accesses, highway improvements, parking, landscaping, drainage features, open space, and associated infrastructure, with all matters to be reserved except new vehicular access points into the site from Bennetts Road.	Approved Planning Committee 23 rd February 2023 Decision Issued 02/06/2023
PL/2023/0001888/RESM	Submission of Reserved Matters for 290no. dwellings for all matters outstanding pursuant to permission OUT/2022/0712 for the demolition of all existing buildings (save for Poddy Cottage) and the erection of up to 290 dwellings and creation of associated vehicular accesses to Bennetts Road and Fivefield Road, pedestrian/cycle accesses, diversion of public rights of way, highway improvements, parking, landscaping, drainage features, open space, and associated infrastructure including substation (vehicular access points into the site having been approved at outline stage). (Outline application was accompanied by an Environmental Statement). Includes information to	Pending

	discharge conditions 1, 2, 4, 5, 7, 8, 9, 19, 21, 22, 23, 25, 26 and 33 attached to outline planning permission OUT/2022/0712.	
<u>Hall Hill Cottages</u>		
OUT/2022/3246	Outline planning permission with all matters reserved except for access, for the demolition of existing dwelling and associated agricultural units, and the erection of up to 40 residential dwellings (Use Class C3), with parking and associated works.	Withdrawn
PL/2023/00001155/OUTM	Outline planning permission with all matters reserved except for access, for the demolition of existing dwelling and associated agricultural units, and the erection of up to 40 residential dwellings (Use Class C3), with parking and associated works (Resubmission OUT/2022/3246).	Pending

POLICY

National Policy Guidance

National Planning Policy Framework (NPPF), updated July 2021. The NPPF sets out the Government’s planning policies for England and how these are expected to be applied. It sets out the Government’s requirements for the planning system only to the extent that is relevant, proportionate and necessary to do so. The NPPF increases the focus on achieving high quality design and states that it is “fundamental to what the planning and development process should achieve”.

The National Planning Practice Guidance (NPPG) adds further context to the NPPF and it is intended that the two documents are read together.

Local Policy Guidance

The current local policy is provided within the Coventry Local Plan 2016, which was adopted by Coventry City Council on 6th December 2017. Relevant policy relating to this application is:

- Policy DS1: Overall Development Needs
- Policy DS3: Sustainable Development Policy
- Policy DS4: (Part A) – General Masterplan Principles
- Policy DS4: (Part C) - Keresley SUE Specific Masterplan Principles
- Policy H1: Housing Land Requirements
- Policy H2: Housing Allocations
- Policy H4: Securing a Mix of Housing
- Policy H6: Affordable Housing
- Policy H9: Residential Density
- Policy GE1 Green Infrastructure

Policy GE3: Biodiversity, Geological, Landscape and Archaeological Conservation
Policy GE4: Tree Protection
Policy DE1: Ensuring High Quality Design
Policy HE2: Conservation and Heritage Assets
Policy AC1: Accessible Transport Network
Policy AC2: Road Network
Policy AC3: Demand Management
Policy AC4: Walking and Cycling
Policy AC5: Bus and Rapid Transit
Policy EM1: Planning for Climate Change Adaptation
Policy EM2: Building Standards
Policy EM4: Flood Risk Management
Policy EM5: Sustainable Drainage Systems (SuDS)
Policy EM7: Air Quality

Supplementary Planning Guidance/ Documents (SPG/ SPD):

SPD Affordable Housing
SPD Coventry Connected
SPD Sustainable Urban Extension Design Guidance
SPD Design guidance for new residential development
SPD Trees and Development Guidelines for Coventry

CONSULTATION

No Objections received from:

- Archaeology
- Conservation
- West Midlands Fire Service

No objections subject to conditions/contributions have been received from:

- Cadent
- Drainage (LLFA)
- Ecology
- Environmental Protection
- Highways
- Parks
- Trees
- Urban Design

After the decision notice was issued on 7th February 2022, a petition was submitted on 21st March 2022 which bore 44no signatures. The petition states: -

'To Preserve the Lebanese Cedar (7025)

This Tree should be preserved for the following reasons.

- 1. Planted in about 1880 (Victorian Tree). This species can live for up to 1,000 years*
- 2. Classed as an A1 tree by the Developers Surveyors, which equates to a tree of exceptional value and condition.*
- 3. Cavat value placed upon this tree of exceptional value and condition.*

4. *Cavat value laced upon this tree of £165,000*
5. *22.8metres high with a case circumference exceeding 50 metres, by far the tallest tree in the area.*
6. *Cedar Trees are the trees of choice planted in London parks, not susceptible to disease, long lived and green all year round.*
7. *A magnet for wildlife and favoured by hedgehogs for hibernation*
8. *Because of its majestic appearance this tree is visually prominent to residents, improved the local landscape and much admired.*
9. *It has been proved in the London Parks, Cedar Trees are excellent at removing pollutants in the atmosphere and being close to the very busy Tamworth Road this is a very important factor.*
10. *This tree could never be replaced. It could still be giving delight to people and outlive any housing planned to replace it.'*

The tree referred to within the petition is T7025 was approved to be removed under the outline permission and the area allowed to be developed. This was on the condition that a group of Scots Pines were retained. This was the compromise approved under the outline permission.

Immediate neighbours and local councillors were originally notified on 1st April 2022; a site notice was posted on 7th April 2022. A press notice was published in the Coventry Telegraph on 7th April 2022.

Additional notifications were sent out on 27th September 2022, 17th October 2022, 22nd March 2023 and 18th July 2023.

No material planning considerations were raised in the assessment of the current application. However, a number of comments were received which are not material consideration in the assessment of this application. They are as follows:

Ward Councillor Birdi raised objections with regards to the population figures being flawed, the woodland buffer needing to be increased to 55m and the existing road traffic from the development has not been sufficiently catered for.

14no. letters of objection were received during the consultation rounds, raising the following:

- Need for development
- Loss of green belt
- Loss of wildlife
- Impact on traffic, highways, and the road network
- Impact on infrastructure, schools, doctors etc
- 20m Buffer is inadequate

11no. letters of support were received during the consultation rounds, raising the following:

- Need for development – massive shortage of homes, especially 3+ bedroomed houses
- In accordance with the Local Plan – allocation.

APPRAISAL

The main issues in determining this application are:

- Principle of Development;
 - Principle of Residential;
- Parameter Conditions
 - Assessment of Parameters Conditions
- Affordable Housing
- Open Space and Parks
 - Open Space – Development Provision
- Highway, Access and Parking
 - Access
 - Parking
 - Layout
- Ecology, Biodiversity and Trees
 - Ecology and Biodiversity
 - Trees
- Drainage
- Design, Scale, Massing and Layout
 - Design
 - Scale
 - Massing
 - Layout
- Air Quality
- Noise
- Contaminated Land
- Equality Matters

ISSUES AND ASSESSMENT

PRINCIPAL OF DEVELOPMENT

Principle of Residential

The principle of the redevelopment of the site for residential purposes was first established under Policy H2 of the Coventry Local Plan which allocated this site and the surrounding area for housing as a Sustainable Urban Extension (SUE). The specific housing requirements are allocated under Policy H2:1.

Application OUT/2019/0022 was submitted; heard at the 4th March 2021 Planning Committee meeting and subsequently approved on 7th February 2022 for the demolition of all existing buildings and the erection of up to 550 dwellings and creation of associated vehicular accesses to Tamworth Road and Fivefield Road, pedestrian/cycle and emergency accesses, diversion of public rights of way, highway improvements to Fivefield Road, parking, landscaping, drainage features, open space and associated infrastructure, with all matters to be reserved except access points into the site (in part).

All the comments are noted with regards to the loss of the Green Belt land, flawed census figures and the need for the development and the amount of woodland buffer, however as

these matters have been determined under the outline permission, which approved the redevelopment of the area for housing and the amount of woodland buffer required, these matters cannot be reassessed and are not material in the consideration of the current application which seeks approval for the appearance, landscaping, layout and scale of the proposed houses only.

Notwithstanding the above, The National Planning Policy Framework, paragraph 11, states that “Plans and decisions should apply a presumption in favour of sustainable development. For Decision Making, this means: -

- approving development proposals that accord with an up-to-date development plan without delay; or
- where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date, granting permission unless:
 - i. the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed;
 - or ii. Any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole.” Footnote 8 to paragraph 11 confirms that this includes situations where the local authority cannot demonstrate a five-year supply of deliverable housing sites.

The Coventry Local Plan was formally adopted on 6th December 2017. Since it was adopted, the Government introduced the Standard Method, a standardised way of calculating minimum housing need. As the Local Plan is now more than five years old the Standard Method is now the determining factor when considering local housing need. When using the Standard Method, the Council is not able to demonstrate a five-year housing land supply. As such, the tilted balance is engaged and therefore planning permission should be granted, unless “any adverse impacts of doing so would significantly and demonstrably outweigh the benefits” when assessed against the policies of the NPPF taken as a whole.

The outline permission contained a number of conditions which the reserved matters are to come forward in accordance with. These are as follows:

PARAMETER CONDITIONS

- Condition No.4 - The reserved matters shall be carried out in accordance with the following approved plans: Access and Infrastructure Parameters Plan PL010 F; Land Use and Green Infrastructure Parameters Plan PL009 C; Site access junctions contained in Appendix E of Transport Assessment dated December 2018 and shall have full regard to the Sustainable Urban Extension Design Guidance SPD and include the following specific requirements:
 - provision of at least two LEAP's and one NEAP;
 - retention of T7022, T7023 and T7024 as well as the other trees, tree groups and hedgerows indicated for retention in the submitted Tree Survey by FLAC dated December 2018;
 - Inclusion of car club spaces for the SUE wide car club;
 - Provision of bus stops and provision for bus penetration of the site;

- Provision of cycle hire storage facility.
- Condition No.6 - No habitable buildings shall be erected within 14m of the high-pressure gas pipeline, which crosses the site.
- Condition No.17 - There shall be a buffer of at least 20m from the ancient woodland boundary, where no development is permitted. No buildings shall be permitted within 30m of the ancient woodland boundary.
- Condition No.19 - The following shall be submitted to the Local Planning Authority together with reserved matters applications for each phase of development:
 - Tree Survey - a detailed scaled plan (to a scale and level of accuracy appropriate to the proposal) showing the position of every tree on the site, and every tree on land adjacent to the site (including street trees) that is likely to have an effect upon or be affected by the proposal (e.g. by shade, crown overhang from the boundary, intrusion of the Root Protection Area etc) with a stem diameter over the bark measured at 1.5 metres above ground level of at least 75 millimetres; Specialised Survey Method Levels 1-6 of the site's Veteran trees to include Hedgerow stand Ash T7080, Woodland boundary Crack Willow immediate north of TG 7024 to Tree Survey, x2 Ash (located east of WG7001 marker) shown at 430 and 500mm dbh to east ditch and bank boundary, and Ash T7093 to east of Alders ditch and bank boundary.
 - a schedule of the trees surveyed as specified in chapter 4.1-4.5 of BS 5837:2012 Trees in Relation to Design, Demolition and Construction - Recommendations;
 - a Tree Constraints Plan (5.1-5.3);
 - Arboricultural Impact Assessment (5.4) to assess the direct and indirect implications of trees upon the proposal and visa-versa, including locations for under-ground/ over-ground services, level changes within RPA's etc.;
 - Arboricultural Method Statement (6.1); and
 - a Dimensioned Tree Protection Plan (to include protection measures during and after construction and any construction exclusion zones) (in accordance with 5.5/ Table B.1), site monitoring (6.3) of British Standard BS5837:2012 - Trees in relation to design demolition and construction - Recommendations, which shall also include any proposal for pruning or other preventative works.

Assessment of Parameters Conditions

Condition No.4 - The reserved matters shall be carried out in accordance with the following approved plans:

- Access and Infrastructure Parameters Plan PL010 F;
- Land Use and Green Infrastructure Parameters Plan PL009 C, and
- Site access junctions contained in Appendix E of Transport Assessment dated December 2018.

The approved site access junctions as contained in Appendix E of Transport Assessment dated December 2018, alongside the Access and Infrastructure Parameters Plan PL010 F, under the outline permission (OUT/2019/0022), approved two main access points for this particular parcel of the outline redline plan. AMENDED DRAWING - Site Layout - Plots 1 -

19 - Drawing No.1000Y - shows two main access points in accordance with the approved access and infrastructure parameters plan and Appendix E of Transport Assessment dated December 2018. It is noted that an additional access point is proposed to serve Plot No.1. This is discussed in more detail below under the *Highways, Access and Parking* section.

Notwithstanding the above, the application is in accordance with Condition No.4 of OUT/2019/0022 thus far.

The Land Use and Green Infrastructure Parameters Plan PL009 C approved under the outline permission (OUT/2019/0022) set the developable area for the reserved matters to come forward in accordance with. AMENDED DRAWING - Site Layout - Plots 1 - 19 - Drawing No.1000Y shows the developable area as set out under the outline permission.

The remaining part of Condition No.4 attached to OUT/2019/0022 namely:

- shall have full regard to the Sustainable Urban Extension Design Guidance SPD and include the following specific requirements:
 - provision of at least two LEAP's and one NEAP;
 - retention of T7022, T7023 and T7024 as well as the other trees, tree groups and hedgerows indicated for retention in the submitted Tree Survey by FLAC dated December 2018;
 - Inclusion of car club spaces for the SUE wide car club;
 - Provision of bus stops and provision for bus penetration of the site;
 - Provision of cycle hire storage facility.

Shall be discussed in more detail under the following headings:

- shall have full regard to the Sustainable Urban Extension Design Guidance SPD and include the following specific requirements – *Design and Visual*.
 - provision of at least two LEAP's and one NEAP - *Parks and Openspace*.
 - retention of T7022, T7023 and T7024 as well as the other trees, tree groups and hedgerows indicated for retention in the submitted Tree Survey by FLAC dated December 2018 – *Ecology, Biodiversity and Trees*.
 - Inclusion of car club spaces for the SUE wide car club – *Highways, Access and Parking*.
 - Provision of bus stops and provision for bus penetration of the site - *Highways, Access and Parking*.
- Provision of cycle hire storage facility - *Highways, Access and Parking*.
- Condition No.6 - No habitable buildings shall be erected within 14m of the high-pressure gas pipeline, which crosses the site – The high-pressure gas pipeline does not cross this particular site as the pipeline is sited to the east of Pikehome Woods and The Alders.
- Condition No.17 - There shall be a buffer of at least 20m from the ancient woodland boundary, where no development is permitted. No buildings shall be permitted within 30m of the ancient woodland boundary. – See *tree* section
- Condition No.19 - The following shall be submitted to the Local Planning Authority together with reserved matters applications for each phase of development:

- Tree Survey - a detailed scaled plan (to a scale and level of accuracy appropriate to the proposal) showing the position of every tree on the site, and every tree on land adjacent to the site (including street trees) that is likely to have an effect upon or be affected by the proposal (e.g. by shade, crown overhang from the boundary, intrusion of the Root Protection Area etc) with a stem diameter over the bark measured at 1.5 metres above ground level of at least 75 millimetres; Specialised Survey Method Levels 1-6 of the site's Veteran trees to include Hedgerow stand Ash T7080, Woodland boundary Crack Willow immediate north of TG 7024 to Tree Survey, x2 Ash (located east of WG7001 marker) shown at 430 and 500mm dbh to east ditch and bank boundary, and Ash T7093 to east of Alders ditch and bank boundary.
- a schedule of the trees surveyed as specified in chapter 4.1-4.5 of BS 5837:2012 Trees in Relation to Design, Demolition and Construction - Recommendations;
- a Tree Constraints Plan (5.1-5.3);
- Arboricultural Impact Assessment (5.4) to assess the direct and indirect implications of trees upon the proposal and visa-versa, including locations for under-ground/ over-ground services, level changes within RPA's etc.;
- Arboricultural Method Statement (6.1); and
- a Dimensioned Tree Protection Plan (to include protection measures during and after construction and any construction exclusion zones) (in accordance with 5.5/ Table B.1), site monitoring (6.3) of British Standard BS5837:2012 - Trees in relation to design demolition and construction - Recommendations, which shall also include any proposal for pruning or other preventative works.- See *Tree* section

AFFORDABLE HOUSING

The outline permission, OUT/2019/0022, granted the permission to develop the site for housing. Attached to the outline permission is a S106 agreement which secures 25% affordable housing, to be in accordance with the adopted Affordable Housing Supplementary Planning Document (SPD).

The affordable housing provision is to be provided across the entire redline site which makes up the outline permission. The outline permission granted for 'up to' 550no dwellings.

As set out under the *history* section of the report, there are three additional applications that have been submitted against the outline permission, OUT/2019/0022 which proposes houses. (The other reserved matter application RMM/2022/0680 relates to the Woodland Buffer planting only). The total number of houses proposed across the four reserved matters application is 525no.

Application Reference	Number of Houses
RMM/2022/0679	19
RMM/2022/0678	201
RMM/2022/0633	280
RMM/2022/0636	35
Total	535no.

This parcel of land and reserved matters application will not provide any of the affordable housing provision, this is to be split across the other reserved matters applications as set out below.

Application Reference	Number of Houses	Affordable Housing Provision
RMM/2022/0679	19	0
RMM/2022/0678	201	55
RMM/2022/0633	280	69
RMM/2022/0636	35	10
Total	<u>535no.</u>	<u>134</u>
Affordable housing @ 25%	<u>134</u>	

The applicant has provided a composite Affordable Housing Plan which shows how the affordable housing provision will be split across the sites.

The application is in accordance with the S106 attached to the outline permission thus far.

OPEN SPACE AND PARKS

Open Space – Development Provision

Policy GE1 of the Coventry Local Plan states new development proposals should make provision for green infrastructure to ensure that such development is integrated into the landscape and contributes to improvements in connectivity and public access, biodiversity, landscape conservation, design, archaeology and recreation.

As stated above, Condition No.4 attached to the outline permission, OUT/2019/0022, required the entire redline area of the outline to provide for at least two LEAPS and one NEAP.

The current application seeks permission for the outstanding reserved matters associated with appearance, landscaping, layout and scale in relation to 19no dwellings out of the 550no dwellings approved under OUT/2019/0022.

As set out under the *history* section of the report, there are four additional applications that have been submitted against the outline permission, OUT/2019/0022.

- RMM/2022/0633
- RMM/2022/0636
- RMM/2022/0678, and
- RMM/2022/0680.

Due to the size and constraints of this application site, the LEAPs and NEAP will be located across the other parcels contained within the outline permission, namely RMM/2022/0678 and RMM/2022/0633.

The application is in accordance with Condition No.4 of the outline permission thus far.

HIGHWAYS, ACCESS AND PARKING

Policy AC1 'Accessible Transport Network' of the Coventry Local Plan states that development proposals which are expected to generate additional trips on the transport network should:

- a) Integrate with existing transport networks including roads, public transport and walking and cycling routes to promote access by a choice of transport modes.
- b) Consider the transport and accessibility needs of everyone living, working or visiting the city.
- c) Support the delivery of new and improved high-quality local transport networks which are closely integrated into the built form.
- d) Actively support the provision and integration of emerging and future intelligent mobility infrastructure.

Policy AC2 of the Coventry Local Plan states new development proposals which are predicted to have a negative impact on the capacity and/or safety of the highway network should mitigate and manage the traffic growth which they are predicted to generate to ensure that they do not cause unacceptable levels of traffic congestion, highway safety problems and poor air quality'. Highway mitigation and management measures should focus firstly on demand management measures (Policy AC3) including the promotion of sustainable modes of travel, and secondly on the delivery of appropriate highway capacity interventions. Highway capacity interventions should be appropriate to the scale of development and expected impact and will be determined through the associated Transport Assessment.

Parameter condition No.4 states the entire outline redline site area is required to provide:

- Inclusion of car club spaces for the SUE wide car club;
- Provision of bus stops and provision for bus penetration of the site;
- Provision of cycle hire storage facility.

Similar to the open space requirement. Due to the size, constraints and character of this site, the provision of the sustainable transport options will be provided on the other sites which are proposing housing, namely:

- RMM/2022/0633
- RMM/2022/0636, and
- RMM/2022/0678

The application is in accordance with Condition No.4 of the outline permission thus far.

Accesses

The principle and location of two access points from Tamworth Road in the locations as shown on AMENDED DRAWING - Site Layout - Plots 1 - 19 - Drawing No.1000Y has been agreed at the outline stage. This application cannot revisit this element. One additional access is proposed; however, this will serve one dwelling (Plot No.1) and therefore is not a road but a driveway. Highways have raised no objections to the addition of a driveway in the location proposed.

Parking

The Coventry Connected SPD which contains amended appendix 5 of the Coventry Local Plan states for a garage to be counted as a parking space they have to comply with the following requirements: -

- Single garage 3m wide by 6m deep;
- Double garage 6m wide by 6m deep.

All the garages proposed comply with this requirement as well as providing off road parking to the front of the garages for at least two car parking spaces.

The Elite garages are undersize when judged against requirements for double garages. These will therefore not count towards the parking requirement for the property. However, the one house where these garages are proposed (Plot No.18) also benefits from a number of car parking spaces separate to the garage which counts towards the parking provision for that plot.

On this basis, the proposed dwellings each have the maximum requirement of two off road parking spaces per each house and is in accordance with Policy AC3 of the Coventry Local Plan and the Coventry Connected SPD.

Layout

The layout has been tracked with the required Fire Tender and refuse vehicles in mind. Highways have raised no objections to the layout as proposed from a highway safety point of view.

The application is in accordance with Condition No.4 of the outline permission thus far; Policy DS3, AC3 and AC4 of the Coventry Local Plan.

ECOLOGY, BIODIVERSITY AND TREES

Ecology and Biodiversity

Policy GE3 of the Coventry Local Plan states that Sites of Special Scientific Interest (SSSIs), Local Nature Reserves (LNRs), Ancient Woodlands, Local Wildlife and Geological Sites will be protected and enhanced

Policy GE3 establishes that developments should provide a net gain and where this is not possible provide some form of offsetting.

The biodiversity impacts and their mitigation were established under the outline permission, OUT/2019/0022 and secured via conditions and S106.

Trees

Condition No.4 attached to the outline permission required the retention of T7022, T7023 and T7024 as well as the other trees, tree groups and hedgerows indicated for retention in the submitted Tree Survey by FLAC dated December 2018.

The reserved matter application was supported by REPORT - Arboricultural Impact Assessment, Arboricultural Method Statement and Tree Protection Plan, dated September

2021 - Report Ref:CC37-1044, which deals with Condition parts A-C) and AMENDED REPORT - Arboricultural Implications Assessment - Report Ref: CC37-1044, as submitted 4th September 2023 and AMENDED DRAWINGS - Tree Protection Plan - Sheet 1 - 3, as submitted 4th September 2023 which deals with parts D, E and F of condition No.4.

All other trees and hedgerows identified to be retained are being retained. The comments are noted with regards to the ease of reference between the 2019 FLAC tree survey and the current reserved matters applications, however, this is not a matter the local authority can insist on. Notwithstanding this, the updated layout plan AMENDED DRAWING - Site Layout - Plots 20 - 220 - Drawing No.20045 - 1000Y, has the 2019 FLAC tree numbers annotated on the drawings.

Condition No.17 - There shall be a buffer of at least 20m from the ancient woodland boundary, where no development is permitted. No buildings shall be permitted within 30m of the ancient woodland boundary.

AMENDED DRAWING - Site Layout - Plots 1 - 19 - Drawing No.1000Y has the 20m buffer annotated as a green dash line and the 20m - 30m buffer for buildings annotated by the blue dashed line.

AMENDED DRAWING - Site Level Strategy - Sheet 2 - Drawing No.890407-RSK-ZZ-XX-DR-C-0011 P05 gives the finished site levels and together with AMENDED DRAWING - Ancient Woodland Buffer Cross-section (Plot 8) - Drawing No.P21-1372_EN_0001_B_0001, shows the impact on the Ancient Woodland Buffer (AWB).

The Tree Officer has raised no objections to the proposed layout subject to the removal of all development within the RPA of T7020. The Tree Officer also disputes the RPA as shown on AMENDED DRAWINGS - Tree Protection Plan - Sheet 1 - 3, as submitted 4th September 2023, due to the existence of Tamworth Road and the age of this route. It is considered that the RPA should form more of a 'D' shape, with an additional compensatory area to take into account of Tamworth Road.

After discussions and consultation with the Tree Officer and keeping in mind the approved developable area under OUT/2019/0022 best endeavours have been made to protect the veteran oak tree T7020. To this end a parking space, and Plot No.19 have been removed out of Veteran Tree T7020, RPA, and this land has been moved into the managed landscaped areas.

The Tree Officer also made comments with regards to T7137 and TG7038 located to the north of the site. A private drive is required to be located. This road has been moved further out of the RPAs, however, it is considered, on balance, that the proposed mitigation as contained within AMENDED REPORT - Arboricultural Implications Assessment - Report Ref: CC37-1044, as submitted 4th September 2023, namely no dig design hard surfacing with a crown lift will be adequate to protect the tree and group of trees.

Furthermore, T7137 is a category C Ash tree and TG7038 is a mix of overgrown Holly and Hazel.

As noted above, there are level changes across the site. An updated Arboricultural Implications Assessment and Tree Protection Plan is required to ensure that the retaining structures will not have a harmful impact on the retained trees on and offsite. The details of which will be reported in the Late Representations document and at the Planning Committee meeting.

Officers are mindful that the Council is not able to demonstrate a five-year housing land supply. As such, the tilted balance is engaged and therefore planning permission should be granted, unless “any adverse impacts of doing so would significantly and demonstrably outweigh the benefits” when assessed against the policies of the NPPF taken as a whole. The application would bring a number of benefits. The site is an allocated housing site and benefits from outline planning permission; therefore, the site is part of a significant strategic housing allocation, the dwellings would contribute significantly to reducing the councils deficit of housing. The site also provides economic benefits by providing local employment during the construction period and by supporting the local economy.

The outline permission agreed the developable area for the site and the application is in accordance with the outline parameter plans, as assessed above. Taking every into account it is considered that the imposition of a condition requiring construction details within the RPA of T7020 Veteran Oak is sufficient enough to protect the tree in preparty, this is coupled with the area of the tree and its RPA being located within the landscape areas managed by a management company, instead of the conveyancing for that plot.

The woodland buffer planting principles were secured under the outline permission, OUT/2019/0022 and via the S106. A separate application for the details of the planting of the woodland buffer has been approved RMM/2022/0680.

For the reasons given above, it is concluded that the proposal accords with the development plan. The material considerations outline above, including the NPPF are sufficient to outweigh the conflict with T7020, T137 and TG7038.

DRAINAGE

Policy EM4 of the Coventry Local Plan states all major development must be assessed in respect of the level of floor risk from all sources.

Policy EM5 of the Coventry Local Plan states all development must apply SuDS and should ensure that surface water runoff is managed as close to its source as possible.

The site provides for a sustainable urban drainage SUDs, which will be located within the triangle section between the Alders and Pikehorn Ancient Woodlands. The SUD has been designed to have varying side slopes which allow the feature to integrate within the landscape better.

Whilst the City Councils practice is to have SUDs included within Public Open Space in such a fashion that does not preclude or limit the use of the space as an interactive development feature and allows for effective and efficient drainage of the developed portion. These spaces are normally designed to be fully dual-purpose and when not used for

attenuating rainfall available for secondary amenity use. To this end they are fully accessible by people and animals of all abilities.

However, this particular site is nestled in between the Ancient Woodlands mentioned above and Tamworth Road. The location of the SUDs is outside of the AWB buffer of 20m but it is located within an area where access will be limited to maintenance only.

The Local Lead Flood Authority (LLFA) have raised no objections to the amended position and size of the proposed SUDs subject to conditions.

DESIGN, SCALE, MASSING AND LAYOUT

Policy DE1 of the Coventry Local Plan seeks to ensure high quality design and development proposals must respect and enhance their surroundings and positively contribute towards the local identity and character of an area.

The National Planning Policy Framework, paragraph 130 states that “Planning policies and decisions should ensure that developments:

- a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;
- b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;
- c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);
- d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;
- e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and
- f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.

The NPPF further states (at paragraph 134) “Permission should be refused for development of that is not well designed that fails to reflect local design policies and government guidance on design. Conversely, significant weight should be given to:

- a) development which reflects local design policies and government guidance on design; and/or
- b) outstanding or innovative designs which promote high levels of sustainability or help raise the standard of design more generally in an area, so long as they fit in with the overall form and layout of their surroundings.

LPA should seek to ensure that the quality of approved development is not materially diminished between permission and completion, as a result of changes being made to the permitted scheme (for example through changes to approved details such as the materials used).” (Paragraph 135no.).

Design

The house types have been designed with the Ancient Arden in mind and in accordance with the following SPDs.

- Sustainable Urban Extension Design Guidance
- Householder Design Guide.
- Design guidance for new residential development.

There has been a positive adoption of design features taken from the above SPDs incorporating blue brick bases, arched and detailed window headers, simple pitched roofs and chimneys. The materials will be light red/brown tone bricks, with variants comprising weatherboarding and render between the house types themselves which is a welcomed addition allowing for further interest within the Streetscene.

Scale and Massing

This section of Tamworth Road is characterised by larger detached properties which are two storeys in height. The application proposes 19no dwellings all of which are detached and range from four – seven bedrooms. 11no of the houses also have a detached garages either single or double, depending on the house type, these are single storey in nature with one garage being one and half storeys for the seven bed roomed house.

The existing topography of the site is higher at Tamworth Road, then falls to the east and south-eastwards with a difference between six and seven metres. The SUE SPD requires a mix in heights ranging 1.5 to 3 storeys' depending on the road type and the character of the area.

The house types submitted with the application are all two storey dwellings. The applicant has produced street scenes to illustrate how the variation in built form will be achieved when the house types are viewed in relation to the topography of the site.

As noted, the existing topography falls away towards the ancient woodlands and southwards along Tamworth Road. AMENDED DRAWING - Site Level Strategy - Sheet 2 - Drawing No.890407-RSK-ZZ-XX-DR-C-0011 P05 highlights the areas where retaining structures will be and their proposed height.

Confirmation of the relationship of Plot No. 14 to the adjacent neighbour and the details of retaining structures is awaited and will be reported as late items.

Layout

The layout has taken its cues from the Ancient Arden and Sustainable Urban Extension Design Guidance SPD in the adoption of non-linear building lines, and the adoption of a more adhoc Streetscene, this will be further emphasised due to the topography of the site.

The western boundary along Tamworth Road, retains all the important trees and hedgerows, providing the landscape buffer to the development. An Ancient Woodland Buffer (AWB) is provided, in accordance with Condition No.17 of the outline permission, OUT/2019/0022 and Schedule 2 of the S106. Furthermore, RMM/2022/0680 has been submitted and approved for the planting details for the Ancient Woodland Buffer (AWB).

The application has been supported by a materials plan which shows the proposed boundary treatment for the entire site. On entrance adjacent to Tamworth Road will be 1m high black railings.

In the highly visual areas, Plot No.2, No.11 and No.14 have decorative 1.8m high brick walls, to the prominent boundary treatments with the more common 1.8m close boarded fences to the rear, and the 1.8m close boarded fence to the rear / side boundaries of all the other plots.

Detailed Plot Landscape plans have been submitted which shows how the public areas will be landscaped which are then managed by a private company and do not sit within the conveyancing of any of the plots.

AIR QUALITY

Policy H1 of the Coventry Local Plan states future housing will be designed to create new and stable communities.

Policy H3 of the Coventry Local Plan states that new development must provide a high-quality residential environment which assists in delivering urban regeneration or creating sustainable communities and which overall enhances the built environment. A suitable residential environment includes safe and appropriate access, adequate amenity space and parking provision and be safe from pollution.

Policy EM7 of the Coventry Local Plan states major development proposals will require the submission of an air quality assessment, as they may lead to a significant deterioration in local air quality resulting in unacceptable effects on human health, local amenity or the natural environment.

The Air Quality SPD simplifies the consideration of air quality impacts associated with development schemes and focus on incorporation of mitigation at the design stage, countering the cumulative impacts of aggregated developments, providing clarity to developers and defining 'sustainability' in air quality terms.

The Site is located within the Coventry citywide Air Quality Management Area which was designated for the potential exceedance of the annual mean nitrogen dioxide (NO₂) air quality objective.

The application is for submission of reserved matters, where the principle of the development has been approved under OUT/2019/0022. The reserved matters are required to come forward in accordance with that permission and the conditions attached to it.

Condition No.8 of the outline permission requires low NO_x emission boilers and one electric car charging point per dwelling. Therefore, this is a compliance condition which requires all the properties to have these elements installed.

NOISE

Policy H1 of the Coventry Local Plan states future housing will be designed to create new and stable communities.

Policy H3 of the Coventry Local Plan states that new development must provide a high-quality residential environment which assists in delivering urban regeneration or creating sustainable communities and which overall enhances the built environment. A suitable residential environment includes safe and appropriate access, adequate amenity space and parking provision and be safe from pollution.

The application is for submission of reserved matters, where the principle of the development has been approved under OUT/2019/0022. The reserved matters are required to come forward in accordance with that permission and the conditions attached to it.

Condition No.12 requires a noise assessment to be submitted with each reserved matters application for each phase of development. The noise assessments notes that background noise levels are from Tamworth Road, therefore, attenuation fencing to the boundaries of plots No.15, No.17 and No.19 is required.

Please see AMENDED DRAWING - Site Layout - Plots 1 - 19 - Drawing No.1000Y .

CONTAMINATED LAND

Policy EM6 of the Coventry Local Plan seeks to ensure that redevelopment of previously developed land does not have a negative impact on water quality, either directly through pollution of surface or ground water or indirectly through the treatment of wastewater by whatever means.

The application is for submission of reserved matters, where the principle of the development has been approved under OUT/2019/0022. The reserved matters are required to come forward in accordance with that permission and the conditions attached to it.

Condition No.9 and No.10 require a remediation scheme to be submitted and approved by the council prior to commencement of each phase of development and Condition No.11 requires a verification report to be submitted and approved to ensure the remediation has been completed.

EQUALITY IMPLICATIONS

Section 149 of the Equality Act 2010 created the public sector equality duty. Section 149 states:-

(1) A public authority must, in the exercise of its functions, have due regard to the need to: eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under this Act; advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it; foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

Officers have taken this into account and given due regard to this statutory duty, and the matters specified in Section 149 of the Equality Act 2010 in the determination of this application.

There are no known equality implications arising directly from this development.

CONCLUSION

The proposal complies with the requirements of the outline permission and in view of the design, siting and massing of the development, it accords with development plan policies and supplementary planning guidelines and therefore the application is recommended for approval, subject to conditions.

CONDITIONS/REASONS

1.	The development hereby permitted shall be carried out in accordance with the approved plans which will be reported in late representation document and at the committee meeting.
Reason	<i>For the avoidance of doubt and in the interests of proper planning</i>
2.	The existing tree(s) and hedge(s) indicated on the approved plan and reports, namely AMENDED DRAWING - Site Layout - Plots 20 - 220 - Drawing No.20045 - 1000AL ; AMENDED REPORT - Arboricultural Implications Assessment - Report Ref: CC37-1044, as submitted 4th September 2023 and AMENDED DRAWINGS - Tree Protection Plan - Sheet 1 - 3, as submitted 4th September 2023, to be retained shall not be cut down, grubbed out or otherwise removed or topped or lopped so that the height of the hedge(s) falls below 2m at any point. Any tree and/or hedge(s) removed without consent or dying, or being severely damaged or diseased or becomes; in the opinion of the Local Planning Authority; seriously damaged or defective, shall be replaced within the next planting season with hedging, tree(s) and/or shrub(s) of such size and species details of which must be submitted to and approved by the Local Planning Authority. All hedging, tree(s) and shrub(s) shall be planted in accordance with British Standard BS 8545:2014 Trees: from nursery to independence in the landscape - Recommendations and BS4428 - Code of Practice for General Landscape Operations (excluding hard surfaces).
Reason	<i>To protect those landscape features which are of significant amenity value to the area and which would provide an enhanced standard of appearance to the development in accordance with Policies GE3, GE4 and HE2 of the Coventry Local Plan 2016.</i>
3.	Before any development commences on site(including any demolition, site clearance or other preparatory works) the following shall be submitted to and approved in writing by the Local Planning Authority:

	<p>d) Arboricultural Impact Assessment (5.4) to assess the direct and indirect implications of trees upon the proposal and visa-versa, including locations for under-ground/ over-ground services, level changes within RPA's etc.;</p> <p>e) Arboricultural Method Statement (6.1); and</p> <p>f) a Dimensioned Tree Protection Plan (to include protection measures during and after construction and any construction exclusion zones) (in accordance with 5.5/ Table B.1), site monitoring (6.3) of British Standard BS5837:2012 - Trees in relation to design demolition and construction - Recommendations, which shall also include any proposal for pruning or other preventative works.</p> <p>The approved mitigation and / or protection measures shall be put into place prior to the commencement of any works and shall remain in place during all construction work.</p>
Reason	<i>To protect those trees which are of significant amenity value to the area and which would provide an enhanced standard of appearance to the development in accordance with Policy GE3 and GE4 of the Coventry Local Plan 2016.</i>
4.	The Elite Garage hereby permitted shall only be used for purposes incidental to the enjoyment of the dwelling known as Plot No.18 and shall not be used as primary living accommodation or for the purpose of any trade or business.
Reason	<i>To safeguard the amenities of nearby occupiers in accordance with Policy DE1 of the Coventry Local Plan 2016</i>
5.	Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended), or any statutory instrument amending, revoking and/or replacing that Order, no gate, fence, wall or other means of enclosure shall be erected, constructed or improved or altered such as to place the structure in front of the forwardmost part of any dwellinghouse(s) fronting a highway or footpath without the prior grant of planning permission by the Local Planning Authority.
Reason	<i>Having regard to the open plan layout and general nature of the proposed development it is important to ensure that no development is carried out except with the permission of the Local Planning Authority, which would detract from the appearance of the area and affect the amenities of adjacent properties in accordance with Policies H3 and DE1 of the Coventry Local Plan 2016.</i>
6.	Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended), or any statutory instrument amending, revoking and/or replacing that Order, no development to form hard surfaces situated on land between a wall forming a front elevation of that dwellinghouse and the boundary of the site, shall be carried out within the

	site without the prior grant of planning permission by the Local Planning Authority.
Reason	<i>Having regard to the open plan layout and general nature of the proposed development it is important to ensure that no development is carried out except with the permission of the Local Planning Authority, which would detract from the appearance of the area and affect the amenities of adjacent properties in accordance with Policy DE1 of the Coventry Local Plan 2016.</i>
7.	Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended), or any statutory instrument amending, revoking and/or replacing that Order, no development within Class A - rear and side extensions for Plots No.1, 7, 8, 9 & 19; Class AA (all plots);; Class B for Plots No.2, 3, 4, 5, 6, 11 & 12; Class D for Plots No.2, 5, 6, 9, 11, 12 & 19 and Class E for Plots No.1, 7, 8, 9, 19 shall be erected or constructed to any dwellinghouses hereby permitted without the prior grant of planning permission by the Local Planning Authority
Reason	<i>Having regard to the design, layout and general nature of the proposed development it is important to ensure that no further development is carried out which would detract from the appearance of the area and affect the amenity of adjacent properties and/or would be within the RPAs of existing retained trees. Therefore, no additional development is to be carried out without the permission of the Local Planning Authority in accordance with Policies H3, DE1 and GE4 of the Coventry Local Plan 2016</i>
8.	Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended), or any statutory instrument amending, revoking and/or replacing that Order, no first-floor windows or openings (apart from any shown on the approved plans) shall be formed in: <ul style="list-style-type: none"> • Plot No.6 - South facing elevation • Plot No.10 - South West facing elevation • Plot No.12 - South East facing elevations • Plot No.17 - South facing elevation of the dwellinghouse(s) hereby permitted, without the prior grant of planning permission by the Local Planning Authority.
Reason	<i>In the interests of the amenities of the occupiers of nearby properties in accordance with Policy DE1 of the Coventry Local Plan 2016.</i>

9.	<p>Any on plot landscaping (other than the planting of trees and shrubs) including the erection of boundary treatment, and the installation of paving and footpaths shown on the approved plans, namely AMENDED DRAWING - Detailed Plot Landscape Proposals (Sheet 1 of 10) - Drawing No.P21-1372_09-G, AMENDED DRAWING - Detailed Plot Landscape Proposals (Sheet 2 of 10) - Drawing No.P21-1372_10-G and AMENDED DRAWING - Boundary Treatment Layout - Plots 1 - 19 - Drawing No.1002G, unless alternative details have been approved via a discharge of condition application, shall be completed in all respects within three months of the first use of that dwelling(s) and the tree(s) and shrub(s) shall be planted within the first planting season of that first use. Any tree(s) or shrub(s) removed, dying, or becoming; in the opinion of the Local Planning Authority; seriously damaged, defective or diseased within five years from the substantial completion of the scheme shall be replaced within the next planting season by tree(s) or shrub(s) of similar size and species to those originally required to be planted. All hedging, tree(s) and shrub(s) shall be planted in accordance with British Standard BS 8545:2014 Trees: from nursery to independence in the landscape - Recommendations and BS4428 - Code of Practice for General Landscape Operations. All hard surfacing shall be made of porous materials or provision shall be made to direct run off water from the hard surface to a permeable or porous area.</p>
Reason	<p><i>To ensure a satisfactory standard of appearance of the development in the interests of the visual amenities of the area in accordance with Policies GE1 and DE1 of the Coventry Local Plan 2016.</i></p>
10.	<p>The soft landscaping hereby approved on AMENDED DRAWING - Detailed Plot Landscape Proposals (Sheet 1 of 10) - Drawing No.P21-1372_09-G and AMENDED DRAWING - Detailed Plot Landscape Proposals (Sheet 2 of 10) - Drawing No.P21-1372_10-G, unless alternative details have been approved via a discharge of condition application, shall be completed in all respects prior to occupation of the 15th dwellinghouse. The tree(s) and shrub(s) shall be planted within the first planting season of that first use. Any tree(s) or shrub(s) removed, dying, or becoming; in the opinion of the Local Planning Authority; seriously damaged, defective or diseased within five years from the substantial completion of the scheme shall be replaced within the next planting season by tree(s) or shrub(s) of similar size and species to those originally required to be planted. All hedging, tree(s) and shrub(s) shall be planted in accordance with British Standard BS 8545:2014 Trees: from nursery to independence in the landscape - Recommendations and BS4428 - Code of Practice for General Landscape Operations.</p>
Reason	<p><i>To ensure a satisfactory standard of appearance of the development in the interests of the visual amenities of the area in accordance with Policy DE1 of the Coventry Local Plan 2016.</i></p>

11.	Prior to the first occupation of the development hereby permitted, details of all 'off plot' hard landscaping works shall be submitted to and approved in writing by the Local Planning Authority. Details of hard landscaping shall include footpaths; and hard surfacing (which shall be made of porous materials or provision shall be made to direct run off water from the hard surface to a permeable or porous area). The hard landscaping works shall be completed in strict accordance with the approved details prior to occupation of the 15th dwellinghouse and thereafter they shall be retained and shall not be removed or altered in any way.
Reason	<i>To ensure a satisfactory standard of appearance of the development in the interests of the visual amenities of the area in accordance with Policy DE1 of the Coventry Local Plan 2016.</i>
12.	Within one month of the erection of the 1m high metal estate railings and 0.4m high knee railings as shown on AMENDED DRAWING - Boundary Treatment Layout - Plots 1 - 19 - Drawing No.1002G, hereby permitted, they shall be colour coated in black.
Reason	<i>To ensure that the proposed development has a satisfactory external appearance in the interests of the visual amenities of the area in accordance with Policy DE1 of the Coventry Local Plan 2016.</i>
13.	The dwellinghouses hereby permitted shall be constructed from the approved materials contained within AMENDED DRAWING - Materials Drawing - Bricks - Sheet 1 - Drawing No.TRK-MDB-01D and AMENDED DRAWING - Materials Drawing - Roof Tiles - Sheet 1 - Drawing No.TRK-MDB-01C, unless alternative details have been approved via a discharge of condition application. These details shall be installed only in full accordance with the approved details prior to the first occupation of the development and thereafter shall be retained and shall not be removed or altered in any way
Reason	<i>To ensure that the proposed development has a satisfactory external appearance in the interests of the visual amenities of the area in accordance with Policy DE1 of the Coventry Local Plan 2016.</i>
14.	No part of the residential accommodation hereby permitted shall be occupied unless and until the external amenity space has been laid out and provided in full accordance with the details shown on the approved plans and thereafter shall remain available for use at all times.
Reason	<i>In the interests of the amenities of the future occupants of the residential accommodation in accordance with Policy DE1 of the Coventry Local Plan 2016.</i>

15.	No dwelling(s) hereby permitted shall not be occupied unless and until the bin storage area(s) for that dwelling have been laid out and provided in full accordance with the approved plan, AMENDED DRAWING - Site Layout - Plots 20 - 220 - Drawing No.20045 - 1000Y, unless alternative details have been approved via a discharge of condition application. Thereafter those facilities shall remain available for use at all times. All bins which serve that dwelling must be stored within the approved bin storage area for that individual Plot and not positioned on the public highway or in the open unless on bin collection days. All bins which serve the development shall not be stored within the allocated bin collection points unless on bin collection days.
Reason	<i>In the interests of the amenities of future occupants of the residential accommodation and neighbouring occupiers in accordance with Policies DE1 and of the Coventry Local Plan 2016.</i>
16.	The dwelling(s) hereby permitted shall not be occupied unless and until cycle parking facilities have been provided in full accordance with the approved details. Thereafter those facilities shall remain available for use at all times and shall not be removed or altered in any way.
Reason	<i>In the interests of encouraging the use of alternative modes of transport with the aim of creating a more sustainable city in accordance with Policies DS3, AC3 and AC4 of the Coventry Local 2016.</i>
17.	<p>Notwithstanding the submitted REPORT - Flood Risk Addendum, dated September 2021 - Report Ref:23541-01-TN-02, prior to commencement of development the following shall be submitted to and approved in writing by the Local Planning Authority; the provision of a Sustainable urban Drainage System (SuDs) in accordance with the latest available design guidance. The submission shall include all relevant details and calculations to enable a full evaluation to be undertaken, and clear and accountable consideration shall be given to the following features:</p> <ul style="list-style-type: none"> • Open Air storage or attenuation in the form of a wet pond, dry basin, swale or other similar surface feature, aimed at managing water quantity, quality and introducing biodiversity at the ground surface. • General below ground attenuation, aimed solely at managing the quantity of water on site (Note: preference should be given to localised cellular storage unless there is no possible mechanism for doing so) • Water quality control mediums such as permeable paving, filter drains, rain gardens, ponds or swales aimed at improving the quality of water passing through the system either above or below ground. • The use of water harvesting and grey water reuse at individual plot level within the development. This consideration should include both the

deployment of water butts, and dedicated tank-based storage where appropriate and any reasons for NOT using should be clearly stated. All in accordance with Coventry City Council's Supplementary Planning Document "Delivering a more Sustainable City".

- The storm water discharge rates from the development shall be managed in order to reduce flood risk to surrounding sites, downstream areas or the wider environment by means of a flow control mechanism (or mechanisms) limiting the total site discharge offsite to Qbar greenfield runoff minus 20% or 5 l/s whichever is greater. The discharge rates for brownfield sites shall be considered as greenfield in accordance with the CCC SFRA.
- A detailed strategy document must be submitted to, and approved in writing by, the LPA for the long-term inspection and maintenance of the SuDs and other surface water drainage elements on site. It should also mention any notable Health and Safety or specialist training, and special equipment required as part of the routine maintenance.
- An appropriately scaled intrusive ground investigation report must be provided to establish the depth and type of strata, including percolation results in accordance with BRE 365 and identifying the presence and risk associated with migrant or soluble contaminants. Please provide evidence of existing groundwater levels and seasonal variation, in order to inform the drainage design.
- Prior to the commencement of any works on site, provisions must be made for the drainage of the site to ensure there are no temporary increases in flood risk, on or off site, during the construction phase. This should be covered under environmental risks in the Site-Specific CEMP.
- Evidence must be provided to confirm that receiving water bodies or sewers are capable of accepting the attenuated flows specified by the Lead Local Flood Authority (LLFA) or Local Planning Authority (LPA) and that this will not exacerbate the flood risk on or off site. This will include capacity calculations and outcomes, not just the correspondence from Severn Trent Water Ltd in isolation, accepting the point discharges. Evidence of existing sub catchments within the site may be needed to support the connectivity survey and confirm the acceptability of proposed point discharges to the watercourses and infrastructure sewers. This must be submitted to, and agreed by, the LPA and LLFA.
- Evidence must be provided to show the management of overland flow routes in the event of exceedance or blockage of the drainage system. Details should include demonstration of how the buildings will be protected in such an event.
- Single outfall points will be discouraged on larger sites, as outfall points should be located to best mimic the natural discharge condition.

	<ul style="list-style-type: none"> • Provisions must be made for the drainage of the site to ensure there is no discharge of surface water to the Public Highway. • 300mm above the 1 in 100-year pluvial flood levels, and above the 1 in 1000 year fluvial flood levels. • Evidence of the 1 in 100 year plus climate change events will be held within the site boundaries, by the designed drainage system and surface profile. • No ordinary watercourse shall be culverted unless there is an overriding need to do so and justified in line with the Environment Agency's current policy. If possible, any existing surface water culverts should be opened and restored to a natural channel. • Where watercourses are culverted as part of the development, adequate provision for maintenance and survey access must be provided. • Where new or redevelopment site levels result in the severance, diversion or reception of natural (or engineered) land drainage flow, the developer shall maintain existing flow routes (where there are no flood risk or safety implications) or intercept these flows and discharge these by a method approved by the Local Planning Authority. • All opportunities to reduce flood risk in the surrounding area must be taken, including creating additional flood storage. In this instance reference should be made to the Councils IDP or Regulation 123 list. • Foul drainage plans. <p>The drainage details shall be installed in full accordance with the approved documentation prior to occupation of the development and thereafter shall be maintained and shall not be removed or altered in any way.</p>
Reason	<p><i>To ensure that adequate drainage facilities are available for the satisfactory and proper development of the site in accordance with policies EM1, EM4 and EM5 of the Coventry Local Plan 2016 and Coventry City Councils adopted Supplementary Planning Document for Delivering a More Sustainable City.</i></p>
18.	<p>Notwithstanding the details shown on AMENDED DRAWING - Site Layout - Plots 20 - 220 - Drawing No.20045 - 1000Y and AMENDED DRAWING - Tree Protection Plan - Sheet 1 - 3, as submitted 4th September 2023, no earthworks and/or engineering operations shall be located within the RPA of any Ancient Woodland Tree.</p>
Reason	<p><i>To protect those trees which are of significant amenity value to the area and which would provide an enhanced standard of appearance to the development in accordance with Policy GE3 and GE4 of the Coventry Local Plan 2016.</i></p>

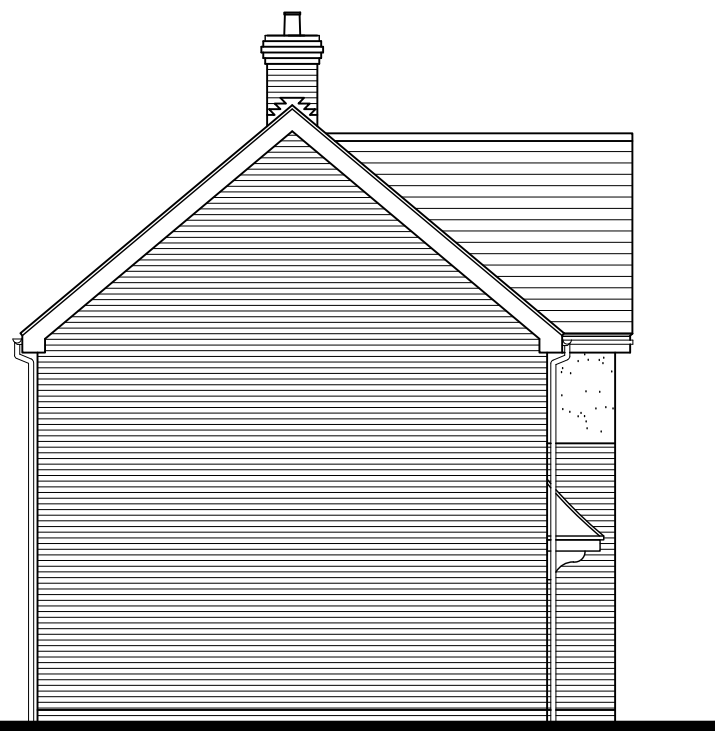
<p>19.</p>	<p>Before any development commences on site (excluding demolition, site clearance or other preparatory works) details of the proposed finished floor levels; ridge and eaves heights of the buildings hereby approved have been submitted to and approved in writing by the Local Planning Authority. The submitted levels details shall be measured against a fixed datum and shall show the existing and finished ground levels, eaves and ridge heights of surrounding property. The development shall be carried out as approved.</p>
<p>Reason</p>	<p><i>To ensure a satisfactory relationship between the various components of the development and between the site and adjoining land. To ensure that construction is carried out at a suitable level having regard to drainage, access, the appearance of the development, any trees or hedgerows and the amenities of neighbouring properties. To comply with Policies, DS3, DS4, EM4, AC3, DE1, GE3 and GE4 of the Coventry Local Plan.</i></p>

The Contractor is to check and verify in conjunction with the Architects details all setting out points, building and site dimensions, levels and sewer invert levels at connection points and ensure that they are fully conversant with the contents and of requirements the site investigation report before work starts.
 The Contractor is to comply in all respects with current building legislation, British Standard Specifications, Building Regulations etc., whether or not specifically stated on this drawing.
 This drawing is not intended to show details of ground conditions or ground contaminants. Each area of ground relied upon to support any structure depicted (including drainage) must be investigated by the Contractor any areas of formation for solid structures which do not accord with the anticipated conditions as described in the site investigation report are to be immediately notified to the Engineer, where applicable. Any suspect fluid ground or ground contaminants on or within the ground should be further investigated by a suitable expert. Any earthworks shown indicate typical slopes for guidance only and should be investigated further by a suitable geotechnical expert.
 Where existing trees are shown to be retained they should be subject to a full Arboricultural Inspection for safety. All trees are to be planted so as to ensure they are a minimum of 5 metres from buildings and 3 metres from drainage and services, where applicable. A foundation is to be provided to accommodate the proposed tree planting, where applicable.
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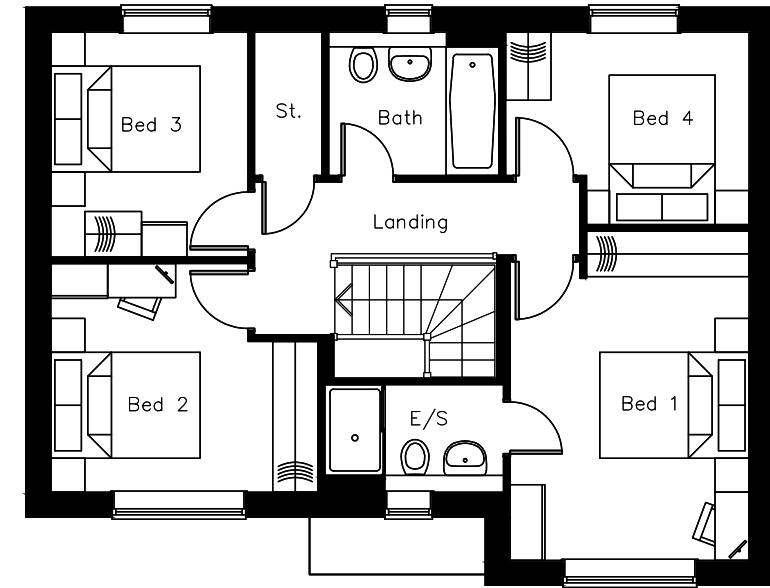
Plot Nos.
13



FRONT ELEVATION



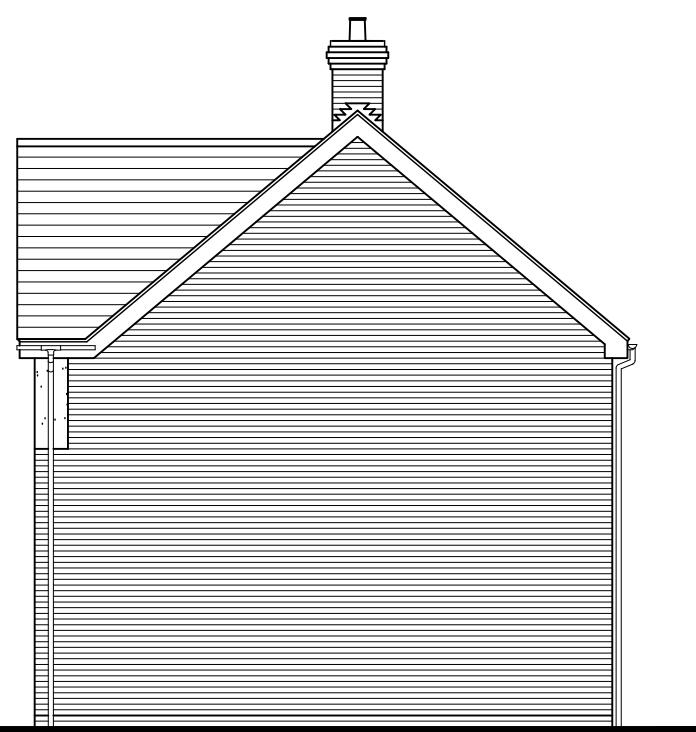
SIDE ELEVATION



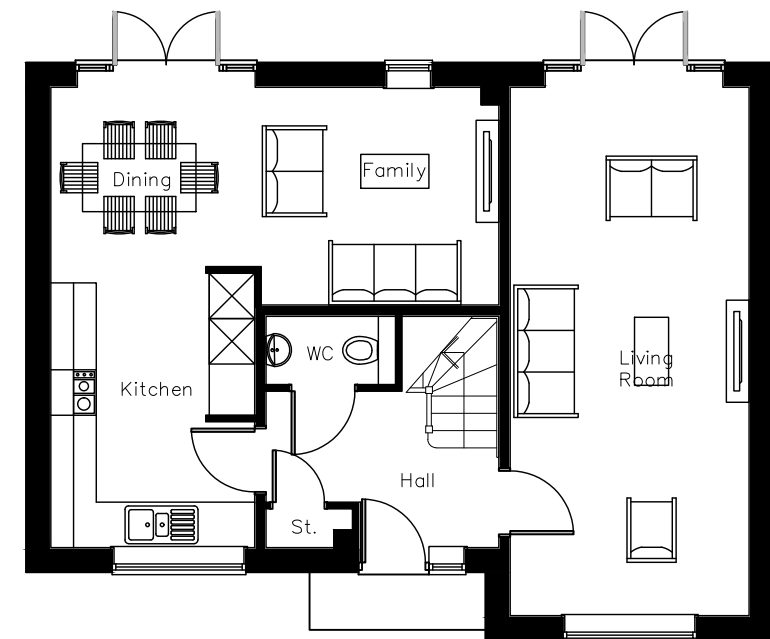
FIRST FLOOR PLAN



REAR ELEVATION



SIDE ELEVATION



GROUND FLOOR PLAN

Gross - 1288 sqft

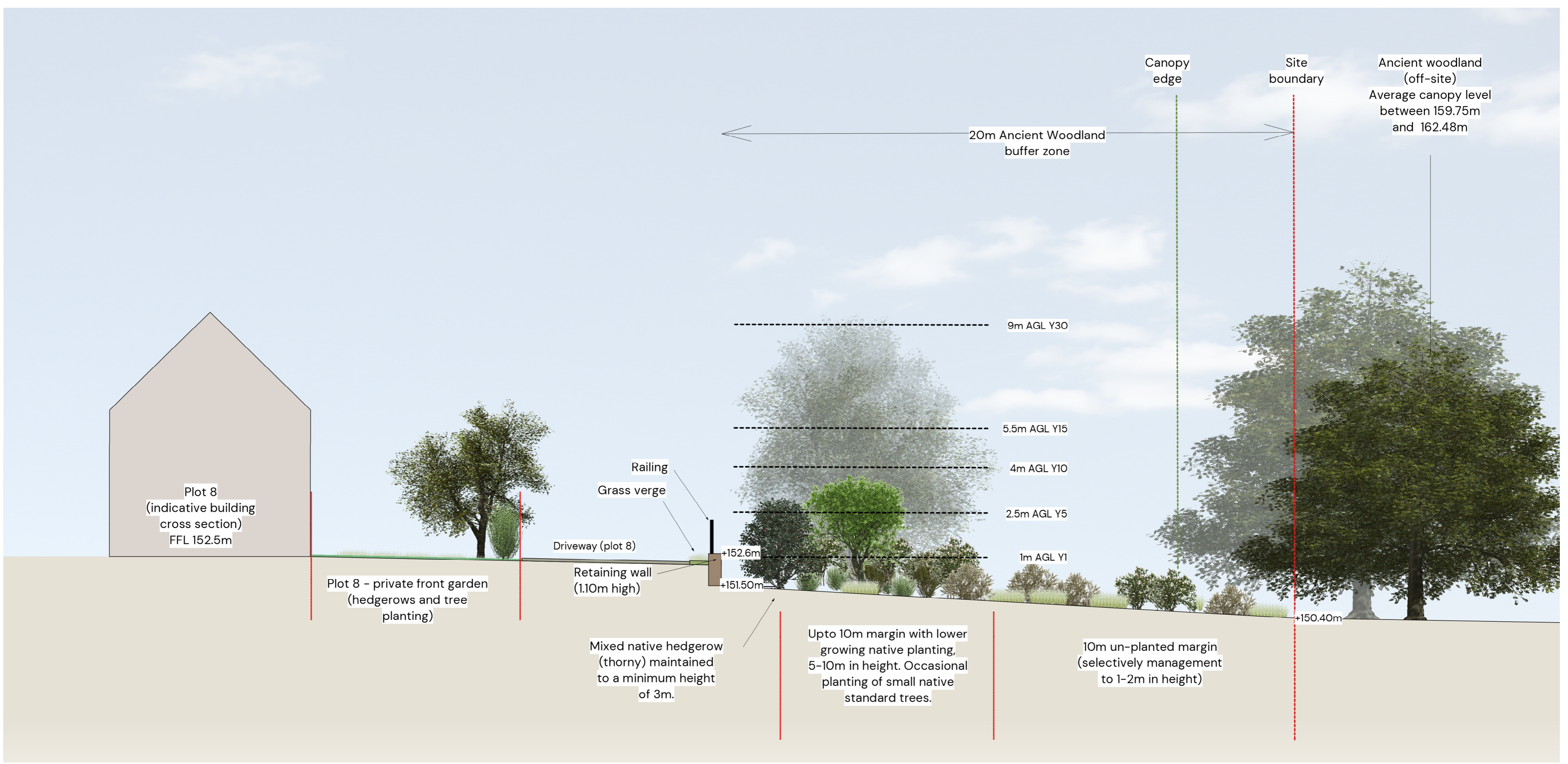
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 E-mail: mail@bannersgate.com

Client:
Ashberry Homes
 Ashberry West Midlands

Project:
 Tamworth Road
 Keresley

Drawing Title:
 Allium
 Planning Drawing
 Town Code 3
 Render

Scale: 1:100	Plot size: A3L	Drawn: HJM	Check: BGA	Date: MAY 2021
CAD Ref: T:\20045\dwgslarch\Current\Planning Proposals\20045-ALLIUM_2021-11-23				
Project no.: 20045			Drawing no.: AWM-ALL-TB-ET02	



NOTES
 Landscape shown on section detail above reflects that proposed on the detailed landscape design drawings, ref: P21-1372_21-A Detailed Ancient Woodland Buffer Landscape Proposals (1 of 2). The section detail estimates the future growth rates.

Levels information taken from drawing, Option 1-PLOTS 8 - 10 RETAINING WALL & DRAINAGE OPTIONS (ref: 890407 RSK ZZ XX DR C SK01 P01)

Tamworth Road, Keresley – Ancient Woodland Buffer Cross-section (Plot 8)



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Planning Committee Report	
Planning Ref:	FUL/2022/1981
Site:	Land at Thompsons Farm
Ward:	Bablake.
Proposal:	Installation and formation of highway and drainage infrastructure works pursuant to OUT/2019/0484 granted on 05/07/2022 for erection of up to 500 residential dwellings with all matters reserved with the exception of access and comprising of: The demolition of Thompsons Cottage and associated buildings; Provision of green infrastructure including strategic open space, sustainable urban drainage, green networks, play space and associated structural and general landscaping; A vehicular access point and emergency access point onto Bennetts Road North; Network of pedestrian and cycle routes; and All associated infrastructure and enabling works.
Case Officer:	Emma Spandley

SUMMARY

The application relates to a parcel of land that is contained within the housing allocation H2:1, called Keresley SUE. The allocation is for 3,100 dwellings.

Application OUT/2019/0484 was submitted; heard at the 27th May 2021 Planning Committee meeting and subsequently approved the erection of up to 500 residential dwellings with all matters reserved with the exception of access and comprising of: The demolition of Thompsons Cottage and associated buildings; Provision of green infrastructure including strategic open space, sustainable urban drainage, green networks, play space and associated structural and general landscaping; A vehicular access point and emergency access point onto Bennetts Road North; Network of pedestrian and cycle routes; and All associated infrastructure and enabling works.

The redline site area for application OUT/2019/0484 extends to some 20.7ha. The current application seeks permission for the main highway infrastructure into and around the site and the drainage strategy required to support the development of the site as approved under the outline permission.

BACKGROUND

The site was previously designated Green Belt land; however, it was removed from the Green Belt following independent examination by an Inspector at Local Plan Examination in Public and allocated for Housing as a Sustainable Urban Extension (SUE). The specific housing requirements are allocated under H2:1.

Application OUT/2019/0484 was submitted; heard at the 27th May 2021 Planning Committee meeting and subsequently approved the erection of up to 500 residential dwellings with all matters reserved with the exception of access and comprising of: The demolition of Thompsons Cottage and associated buildings; Provision of green infrastructure including strategic open space, sustainable urban drainage, green networks, play space and

associated structural and general landscaping; A vehicular access point and emergency access point onto Bennetts Road North; Network of pedestrian and cycle routes; and All associated infrastructure and enabling works.

The primary vehicular access to the site as approved under the outline is on the west side Bennetts Road North with a secondary emergency access further south. The primary access is located approximately 20m northwest of the junction with Grove Lane which is located on the opposite side (west side) of Bennetts Road North. The emergency access is located approximately 30m south of the junction with Grove Lane. The primary access will link to a central avenue which forms part of this current application.

This current application relates to the initial phase of infrastructure works, which comprises the primary access into the site along with the proposed surface water attenuation areas (SuDs). The largest SuD will be centrally located within the redline site area as set out under the outline permission OUT/2019/0484, along with smaller attenuation features located within the northeast and southwest of the site overall site.

The primary access route into the site would have a single point of access from Bennetts Road North and would generally run east to west across the centre of the overall site. It would also include a primary loop road which would extend south into the main site. From this primary access road, secondary roads would extend off to serve the residential parcels.

Underpinning the outline permission, two reserved matters application have been submitted to approve the details of the housing layout. These applications are: -

RMM/2022/1982	Submission of reserved matters (appearance, landscaping, layout and scale) for the erection of 329no. dwellings and associated infrastructure pursuant to planning permission OUT/2019/0484 granted on 05/07/2022	PENDING
RMM/2022/2615	Submission of Reserved Matters (appearance, landscaping, layout and scale) for the erection of 171no. dwellings and associated infrastructure pursuant to planning permission OUT/2019/0484 granted on 05/07/2022	PENDING

KEY FACTS

Reason for report to committee:	Over five objections
Current use of site:	Agricultural
Proposed use of site:	Residential

RECOMMENDATION

Planning committee are recommended to grant planning permission, subject to the conditions listed in the report; and

Delegate authority to the Strategic Lead Planning to agree any amendments to these conditions which are considered necessary.

REASON FOR DECISION

The proposal has outline permission for 500no houses with associated works and therefore the principle of re developing the site has been secured.

The principle and overall impact on highway safety, air quality, drainage/flooding, ancient woodland or ecology were assessed under the outline permission OUT/2019/0484 in relation to the principle of the development.

The current application will not have an impact on the parameters set under the outline permission; will not have an unacceptable impact on the proposed trees and hedges proposed to be retained under the outline or any additional impact on ecology other than that already assessed under the outline permission, OUT/2019/0484.

The proposed road infrastructure and drainage will not have an adverse impact on highway safety or drainage or flooding issues.

The proposal accords with Policies DS3, DS4, GE3, GE4, AC1, AC2, AC3, AC4, AC5 of the Coventry Local Plan 2016, together with the aims of the NPPF.

APPLICATION PROPOSAL

This current application relates to the initial phase of infrastructure works, which comprises the primary access and road network into and around the site along with the proposed surface water attenuation areas.

The location of the primary access route into the site was approved under the outline permission OUT/2019/0484. It is a single point of access from Bennetts Road North with the main road running generally east to west across the centre of the site, it also includes a primary loop road which would extend south into the site. From this primary access road, secondary roads would extend off to serve the residential parcels.

The largest SuD will be centrally located within the redline site area as set out under the parameter drawing, approved under the outline permission OUT/2019/0484, along with smaller attenuation features located within the northeast and southwest of the site overall site.

The drainage attenuation will be in the form of SuDs features. It is proposed that these features would have some permanently wet areas which would enhance the biodiversity value of the site. Smaller attenuation features are located in the north-eastern and south-western corners of the site and will provide additional open space.

The application will link into two reserved matters applications, which seek permission for the appearance, landscaping, layout and scale of the approved houses under outline permission, OUT/2019/0484.

The reserved matters applications are as follows:

- RMM/2022/1982 - Submission of reserved matters (appearance, landscaping, layout and scale) for the erection of 329no. dwellings and associated infrastructure pursuant to planning permission OUT/2019/0484 granted on 05/07/2022 - Pending
- RMM/2022/2615 – Submission of Reserved Matters (appearance, landscaping, layout and scale) for the erection of 171no. dwellings and associated infrastructure pursuant to planning permission OUT/2019/0484 granted on 05/07/2022 - Pending

SITE DESCRIPTION

The entire application site, which falls under the outline permission, OUT/2019/0484, sits on the administrative boundary with North Warwickshire is located on the western side of Bennetts Road North and to the north of Thompsons Road. The site is the northern most site within the Keresley SUE.

The existing site is currently agricultural arable land and gently undulates with the lowest point located towards the centre of the eastern boundary. The site is divided into small fields separated by small hedgerows and related hedgerow trees. On the northern boundary is an existing hedgerow with trees which will be retained. Similarly, the existing hedgerow to the western boundary will be retained. Towards the centre of the site is an existing pond which is being retained.

The current application relates to the initial phase of infrastructure works, which comprises the primary access and main road into the site along with the proposed surface water attenuation areas.

PLANNING HISTORY

The site is part of the wider Keresley SUE.

Application Number	Description of Development	Decision and Date
<u>Taylor Wimpey</u> OUT/2014/2282	Outline application for the erection of up to 800 dwellings, with associated Local Centre comprising Convenience Store (Class A1) Retail/Commercial Units (Class A1, A2, A3, A5 and/or D1); a Primary School; Public Open Space (including equipped play area);	Approved 12/02/2018

	allotments; nature conservation area; and landscaping; with all matters reserved except for means of vehicular access to the site from Tamworth Road and Bennetts Road South.	
RMM/2019/1030	Submission of reserved matters (layout, internal access arrangements, scale, appearance and landscape details) for Phase 1 comprising of 322 dwellings and details of green infrastructure strategy for all phases (excluding third party land) and a temporary construction access pursuant to OUT/2014/2282 for up to 800 dwellings, local centre, primary school, public open space (all matters reserved except vehicular access from Tamworth Road and Bennetts Road South). The outline application was an EIA application and an Environmental Statement was submitted with it.	Approved 20/11/2019
S73/2020/0285	Variation of condition 8 (to allow one retail unit within the local centre to have floorspace up to 500 sq m) imposed upon outline permission OUT/2014/2282 for the erection of up to 800 dwellings, with associated Local Centre comprising Convenience Store (Class A1) Retail/Commercial Units (Class A1, A2, A3, A5 and/or D1); a Primary School; Public Open Space (including equipped play area); allotments; nature conservation area; and landscaping; The outline application was accompanied by an Environmental Statement	Approved 22/04/2020
RM/2020/2399	Submission of reserved matters (layout, internal access arrangements, scale, appearance and landscaping) for Phases 2A and 2B comprising 394 dwellings, pursuant to outline permission OUT/2014/2282. The outline application was accompanied by an Environmental Statement.	Approved 29/11/2021
RMM/2021/2514	Submission of reserved Matters in accordance with condition 1 for layout, internal access arrangements, scale, appearance and landscape details for	Pending

	<p>local centre, comprising of 1,505sqm across seven units pursuant to planning permission S73/2020/0285 granted on 22nd April 2020 for Variation of condition 8 (to allow one retail unit within the local centre to have floorspace up to 500 sq m) imposed upon outline permission OUT/2014/2282 for the erection of up to 800 dwellings, with associated Local Centre comprising Convenience Store (Class A1) Retail/Commercial Units (Class A1, A2, A3, A5 and/or D1); a Primary School; Public Open Space (including equipped play area); allotments; nature conservation area; and landscaping; The outline application was accompanied by an Environmental Statement.</p>	
S73M/2021/2515	<p>Variation of condition No. 56 (Hours of Delivery) and removal of condition No. 31 (Requirement for Green Roofs) imposed on planning permission S73/2020/0285 -Variation of condition 8 (to allow one retail unit within the local centre to have floorspace up to 500 sq m) imposed upon outline permission OUT/2014/2282 for the erection of up to 800 dwellings, with associated Local Centre comprising Convenience Store (Class A1) Retail/Commercial Units (Class A1, A2, A3, A5 and/or D1); a Primary School; Public Open Space (including equipped play area); allotments; nature conservation area; and landscaping; The outline application was accompanied by an Environmental Statement, granted on 22nd April 2020</p>	Pending
<u>Bellway</u>		
OUT/2019/0022	<p>Outline application for the demolition of all existing buildings and the erection of up to 550 dwellings and creation of associated vehicular accesses to Tamworth Road and Fivefield Road, pedestrian/cycle and emergency accesses, diversion of public rights of</p>	Approved 07/02/2022

	way, highway improvements to Fivefield Road, parking, landscaping, drainage features, open space and associated infrastructure, with all matters to be reserved except access points into the site (in part).	
RMM/2022/0633	Submission of Reserved Matters for 282 dwellings off Fivefield Road, for all matters outstanding pursuant to permission OUT/2019/0022 granted on 07/02/2022 for the demolition of all existing buildings and the erection of up to 550 dwellings, and creation of associated vehicular accesses to Tamworth Road and Fivefield Road, pedestrian/cycle and emergency accesses, highway improvements to Fivefield Road, parking, landscaping, drainage features, open space and associated infrastructure, with all matters to be reserved except access points into the site	Pending
RMM/2022/0636	Submission of Reserved Matters for 37 dwellings off Keresley Link Road, for all matters outstanding pursuant to permission OUT/2019/0022 granted on 7th February 2022 for the demolition of all existing buildings and the erection of up to 550 dwellings, and creation of associated vehicular accesses to Tamworth Road and Fivefield Road, pedestrian/cycle and emergency accesses, highway improvements to Fivefield Road, parking, landscaping, drainage features, open space and associated infrastructure, with all matters to be reserved except access points into the site.	Pending
RMM/2022/0678	Submission of Reserved Matters for 205 dwellings off Tamworth Road, for all matters outstanding pursuant to permission OUT/2019/0022 granted on 7th February 2022 for the demolition of all existing buildings and the erection of up to 550 dwellings, and creation of associated vehicular accesses to Tamworth Road and Fivefield Road, pedestrian/cycle and emergency	Pending

	accesses, highway improvements to Fivefield Road, parking, landscaping, drainage features, open space and associated infrastructure, with all matters to be reserved except access points into the site	
RMM/2022/0679	Submission of Reserved Matters for 19no. dwellings off Tamworth Road, for all matters outstanding pursuant to permission OUT/2019/0022 granted on 7th February 2022 for the demolition of all existing buildings and the erection of up to 550 dwellings, and creation of associated vehicular accesses to Tamworth Road and Fivefield Road, pedestrian/cycle and emergency accesses, highway improvements to Fivefield Road, parking, landscaping, drainage features, open space and associated infrastructure, with all matters to be reserved except access points into the site	Pending
RMM/2022/0680	Submission of Reserved Matters for the Ancient Woodland Buffer off Tamworth Road, for all matters outstanding pursuant to permission OUT/2019/0022 granted on 7th February 2022 for the demolition of all existing buildings and the erection of up to 550 dwellings, and creation of associated vehicular accesses to Tamworth Road and Fivefield Road, pedestrian/cycle and emergency accesses, highway improvements to Fivefield Road, parking, landscaping, drainage features, open space and associated infrastructure, with all matters to be reserved except access points into the site.	Approved 03/08/2023
<u>Thompsons Farm</u>		
OUT/2019/0484	Outline permission for the erection of up to 500 residential dwellings with all matters reserved with the exception of access and comprising of: The demolition of Thompsons Cottage and associated buildings; Provision of green infrastructure including strategic open	Approved 05/07/2022

	space, sustainable urban drainage, green networks, play space and associated structural and general landscaping; A vehicular access point and emergency access point onto Bennetts Road North; Network of pedestrian and cycle routes; and All associated infrastructure and enabling works	
RMM/2022/1982	Submission of reserved matters (appearance, landscaping, layout and scale) for the erection of 329no. dwellings and associated infrastructure pursuant to planning permission OUT/2019/0484 granted on 05/07/2022 for erection of up to 500 residential dwellings with all matters reserved with the exception of access and comprising of: The demolition of Thompsons Cottage and associated buildings; Provision of green infrastructure including strategic open space, sustainable urban drainage, green networks, play space and associated structural and general landscaping; A vehicular access point and emergency access point onto Bennetts Road North; Network of pedestrian and cycle routes; and All associated infrastructure and enabling works.	Pending
RMM/2022/2615	Submission of Reserved Matters (appearance, landscaping, layout and scale) for the erection of 171no. dwellings and associated infrastructure pursuant to planning permission OUT/2019/0484 granted on 05/07/2022 for erection of up to 500 residential dwellings with all matters reserved with the exception of access and comprising of: The demolition of Thompsons Cottage and associated buildings; Provision of green infrastructure including strategic open space, sustainable urban drainage, green networks, play space and associated structural and general landscaping; A vehicular access point and emergency access point onto Bennetts Road North;	Pending

	Network of pedestrian and cycle routes; and All associated infrastructure and enabling works.	
<u>Rookery Farm</u>		
OUT/2019/2277	Proposed residential development (up to 40 dwellings) with associated landscaping/open space, drainage and highway infrastructure (outline application - all matters reserved except access into the site)	Approved 06/03/2020
RMM/2021/0314	Submission of reserved matters under condition 1 for details of appearance, landscaping, layout and scale for 40 dwellings together with associated landscaping/open space, drainage and highway infrastructure and temporary construction access from land to the north west pursuant to planning permission OUT/2019/2277 granted on 6th March 2020 for outline permission with access.	Approved 13/07/2021
<u>Colliery Club</u>		
FUL/2020/2615	Demolition of existing structures to facilitate residential development with associated access, parking, landscaping and drainage.	Approved 25/03/2021
<u>David Wilson / Barratts Homes</u>		
FUL/2020/0748	Erection of 388no. dwellings (C3), public open space, landscaping, drainage attenuation areas, access from Bennetts Road and Penny Park Lane, access roads, land safeguarded for a new Link Road, and other associated works. This application is accompanied by an Environmental Statement.	Pending
<u>Manor Farm Cottages</u>		
FUL/2021/3173	Erection of two new dwellings with upgraded access and parking (Use Class C3)	Approved 02/02/2022

FUL/2022/3213	Erection of One new dwellings with upgraded access and parking (Use Class C3)	Approved 05/01/2021
<u>Richborough / Queen College Oxford (QCO)</u>		
OUT/2022/0712	Outline application for the demolition of all existing buildings (save for Poddy Cottage) and the erection of up to 290 dwellings and creation of associated vehicular accesses to Bennetts Road and Fivefield Road, pedestrian/cycle accesses, diversion of public rights of way, highway improvements, parking, landscaping, drainage features, open space, and associated infrastructure, with all matters to be reserved except vehicular access points into the site.	Approved Planning Committee 23 rd February 2023 Decision Issued 23/06/2023
OUT/2022/0713	Outline application for the demolition of all existing buildings (save for Manor Farm Cottage) and the erection of up to 260 dwellings and creation of associated vehicular accesses to Bennetts Road, pedestrian/cycle accesses, highway improvements, parking, landscaping, drainage features, open space, and associated infrastructure, with all matters to be reserved except new vehicular access points into the site from Bennetts Road.	Approved Planning Committee 23 rd February 2023 Decision Issued 02/06/2023
<u>Hall Hill Cottages</u>		
OUT/2022/3246	Outline planning permission with all matters reserved except for access, for the demolition of existing dwelling and associated agricultural units, and the erection of up to 40 residential dwellings (Use Class C3), with parking and associated works.	Withdrawn
PL/2023/00001155/OUTM	Outline planning permission with all matters reserved except for access, for the demolition of existing dwelling and associated agricultural units, and the erection of up to 40 residential dwellings (Use Class C3), with parking and associated works (Resubmission OUT/2022/3246).	Pending

The most relevant application is:

OUT/2019/0484	Outline permission for the erection of up to 500 residential dwellings with all matters reserved with the exception of access and comprising of: The demolition of Thompsons Cottage and associated buildings; Provision of green infrastructure including strategic open space, sustainable urban drainage, green networks, play space and associated structural and general landscaping; A vehicular access point and emergency access point onto Bennetts Road North; Network of pedestrian and cycle routes; and All associated infrastructure and enabling works	Approved 05/07/2022
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POLICY

National Policy Guidance

National Planning Policy Framework (NPPF), updated July 2021. The NPPF sets out the Government's planning policies for England and how these are expected to be applied. It sets out the Government's requirements for the planning system only to the extent that is relevant, proportionate and necessary to do so. The NPPF increases the focus on achieving high quality design and states that it is "fundamental to what the planning and development process should achieve".

The National Planning Practice Guidance (NPPG) adds further context to the NPPF and it is intended that the two documents are read together.

Local Policy Guidance

The current local policy is provided within the Coventry Local Plan 2016, which was adopted by Coventry City Council on 6th December 2017. Relevant policy relating to this application is:

- Policy DS1: Overall Development Needs
- Policy DS3: Sustainable Development Policy
- Policy DS4: (Part A) – General Masterplan Principles
- Policy DS4: (Part C) – Keresley SUE Specific Masterplan Principles
- Policy H1: Housing Lane Requirements
- Policy H2: Housing Allocations
- Policy GE3: Biodiversity, Geological, Landscape and Archaeological Conservation
- Policy GE4: Tree Protection
- Policy DE1 Ensuring High Quality Design
- Policy AC1: Accessible Transport Network
- Policy AC2: Road Network
- Policy AC3: Demand Management
- Policy AC4: Walking and Cycling
- Policy AC5: Bus and Rapid Transit
- Policy EM1: Planning for Climate Change Adaption

- Policy EM4: Flood Risk Management
- Policy EM5: Sustainable Drainage Systems (SuDS)
- Policy EM7: Air Quality

Supplementary Planning Guidance/ Documents (SPG/ SPD):

- SPD Air Quality
- SPD Coventry Connected
- SPD Trees and Development
- SPD Urban Extension Design Guide

CONSULTATION

No Objections received from:

- Archaeology
- Urban Design

No objections subject to conditions/contributions have been received from:

- Drainage – Local Lead Flood Authority (LLFA)
- Economic Development
- Environmental Protection
- Highways – Local Highway Authority (LHA)

Immediate neighbours and local councillors were originally notified on 6th October 2022; a site notice was posted on and press notice was published in the Coventry Telegraph on 13th October 2022.

Keresley Parish Council (KPC) objected to the application on the following basis:-

- Lack of bungalow's on the site,
- queries on distances to rear gardens and
- the impact on Hollie cottage and loss of the trees.

Seven letters of objection were received, raising the following material planning considerations:

- Impact of traffic on the highway network
- Lack of infrastructure to support more houses, schools, doctors etc
- Loss of wildlife
- Housing is not required
- Loss of Green Belt
- Loss of trees and hedgerows
- Lack of bungalows.

ISSUES AND ASSESSMENT

Principle of Development

The principle of the redevelopment of the site for residential purposes was first established under Policy H2 of the Coventry Local Plan which allocated this site and the surrounding area for housing as a Sustainable Urban Extension (SUE). The specific housing requirements are allocated under H2:1.

The principle of developing the site for residential uses has been established under the outline permission OUT/2019/0484.

OUT/2019/0484, granted on 5th July 2022, the erection of up to 500 residential dwellings with all matters reserved with the exception of access and comprising of: The demolition of Thompsons Cottage and associated buildings; Provision of green infrastructure including strategic open space, sustainable urban drainage, green networks, play space and associated structural and general landscaping; A vehicular access point and emergency access point onto Bennetts Road North; Network of pedestrian and cycle routes; and All associated infrastructure and enabling works.

All the comments are noted with regards to the loss of the Green Belt land, flawed census figures and the need for the development; impact on infrastructure etc, however as these matters have been determined under the outline permission, which approved the redevelopment of the area for housing, these matters cannot be reassessed in the current application which seeks approval for the main road infrastructure and the SuDs which will support the development of the site for housing as approved under the outline permission.

The National Planning Policy Framework, paragraph 11, states that “Plans and decisions should apply a presumption in favour of sustainable development. For Decision Making, this means: -

- approving development proposals that accord with an up-to-date development plan without delay; or
- where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date, granting permission unless:
 - i. the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed;
 - or ii. Any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole.” Footnote 8 to paragraph 11 confirms that this includes situations where the local authority cannot demonstrate a five-year supply of deliverable housing sites.

The Coventry Local Plan was formally adopted on 6th December 2017. Since it was adopted, the Government introduced the Standard Method, a standardised way of calculating minimum housing need. As the Local Plan is now more than five years old the Standard Method is now the determining factor when considering local housing need. When using the Standard Method, the Council is not able to demonstrate a five-year housing land supply. As such, the tilted balance is engaged and therefore planning permission should be granted, unless “any adverse impacts of doing so would significantly and demonstrably outweigh the benefits” when assessed against the policies of the NPPF taken as a whole.

This current application relates to the initial phase of infrastructure works, which comprises of the primary access into the site along with the proposed surface water attenuation areas.

The outline permission approved a number of parameters. One of the approved documentation is DRAWING - Access & Movement Parameter Plan - Drawing No.P16-0926_10-01D.

This drawing approves the main vehicular access into the site together with the indicative main avenue road and the locations of the proposed SuDs.

Therefore, the principal of developing the site for up to 500no. dwellings and the associated infrastructure is acceptable in principal and in accordance with the outline permission thus far.

Parameter Conditions

Condition No.4 attached to the outline permission, OUT/2019/0484, required the reserved matters to come forward in accordance with the following approved plans: -

- Access and Movement Parameters Plan P16- 0926_10-01D;
- Land Use Parameter Plan P16 -0926_10-03D;
- Building Heights Parameters Plan P16 -0926_10-02B,
- Site Location Plan P16- 0926_05E;
- General Arrangement Site Access Drawing 02427-A-004-P0
- shall have full regard to the Sustainable Urban Extension Design Guidance SPD and include the following specific requirements:
 - (i) provision of a children's equipped play area;
 - (ii) retention of trees, tree groups and hedgerows indicated for retention in the submitted Arboricultural Impact Assessment Sep 2019;
 - (iii) Inclusion of car club spaces for the SUE wide car club;
 - (iv) Provision of a 'super bus stop' within the site;
 - (v) Provision of cycle hire storage facility.

The application was support by a number of drawings and reports. AMENDED DRAWING - Infrastructure Application Plan - Drawing No.EM038-IA-001G accords with the approved location plan – Drawing No. P16- 0926_05E and the Access and Movement Parameter Plan – Drawing No. P16- 0926_10-01D approved under the outline permission, OUT/2019/0484.

Whether the application is in accordance with the Access and Movement Parameters Plan will be discussed under the *Highways* section. The retention of trees, tree groups and hedgerows indicated for retention in the submitted Arboricultural Impact Assessment Sep 2019 will be discussed under the *Tree* section.

The following condition is also attached to the outline permission which requires the submission of further details to be submitted with reserved matters applications. Whilst technically the application is not a reserved matters application it does seek to approve

details which relate to the outline permission, and therefore to that end is relevant in this consideration of this application.

Condition No.21

Notwithstanding the submitted Flood Risk Assessment and Drainage Strategy, the following shall be submitted to the local planning authority together with each reserved matters application:

- i) A scheme for the provision of surface water drainage, incorporating SuDS attenuation techniques. There must be consideration of features such as green roofs, rain gardens and swales, for the management of surface water peak and total flows, biodiversity and water filtering, in accordance with Coventry City Council's adopted Supplementary Planning Document for 'Delivering a More Sustainable City'.
- ii) A detailed strategy for the long-term maintenance of the SuDS and other surface water drainage systems on site.
- iii) Development discharge rates to be managed to Qbar greenfield rates minus 20%. The discharge rates for brownfield sites shall be considered as greenfield in accordance with the SFRA.
- iv) Evidence the 1 in 100 year plus 40% climate change events will be held within the site boundaries.
- v) Provisions must be made for the drainage of the site to ensure there are no temporary increases in flood risk, on or off site, during the construction phase.
- vi) Provisions must be made for the drainage of the site to ensure there is no discharge of surface water to the Public Highway.
- vii) All proposed outfalls must be confirmed and agreed with the Lead Local Flood Authority prior to the commencement of work on site.
- viii) Evidence that receiving water bodies or sewers are capable of accepting the attenuated flows specified by the Lead Local Flood Authority and that this will not exacerbate the flood risk on or off site. This will include capacity calculations and outcomes, not just the correspondence from Severn Trent Water Ltd in isolation, accepting the point discharges. Evidence of existing sub catchments within the site are needed to support the connectivity survey and confirm the acceptability of proposed point discharges to the watercourses and infrastructure sewers. This must be submitted to, and agreed by, the Local Planning Authority and Lead Local Flood Authority
- ix) Single discharge points will be discouraged on larger sites, as discharge points are to be located to best mimic the natural discharge condition.
- x) A minimum 5m way leave must be provided from the top bank of any ordinary watercourse and open water bodies.
- xi) The development must be considered for the implementation of permeable paving or similar permeable material for the management of total surface water flows, and water filtering in accordance with Coventry City Council's adopted Supplementary Planning Document for 'Delivering a More Sustainable City'.
- xii) Evidence to show the management of overland flow routes in the event of exceedance or blockage to the drainage system. Details should include demonstration of how the building will be protected in such an event. Finished floor slab levels must be 300mm above the 1 in 100-year pluvial flood levels.

- xiii) Where new or redevelopment site levels result in the severance, diversion or the reception of natural land drainage flow, the developer shall maintain existing flow routes (where there are no flood risk or safety implications) or intercept these flows and discharge these by a method approved by the Local Planning Authority.
- xiv) The drainage strategy should not result in top water levels of attenuation structures being above the natural ground level and must achieve a 300mm freeboard, in relation to this existing ground level, at the 1 in 100 year plus climate change event.
- xv) Where an attenuation structure is located adjacent to Public Highway boundary, the applicant should demonstrate the structural adequacy of the attenuation structure to safeguard Public Highway.
- xvi) Foul drainage plans

This will be discussed under the *Drainage* section.

HIGHWAYS, ACCESS AND PARKING

Policy AC1 'Accessible Transport Network' states that development proposals which are expected to generate additional trips on the transport network should:

- a) Integrate with existing transport networks including roads, public transport and walking and cycling routes to promote access by a choice of transport modes.
- b) Consider the transport and accessibility needs of everyone living, working or visiting the city.
- c) Support the delivery of new and improved high-quality local transport networks which are closely integrated into the built form.
- d) Actively support the provision and integration of emerging and future intelligent mobility infrastructure.

Policy AC2 of the Coventry Local Plan states:- New development proposals which are predicted to have a negative impact on the capacity and/or safety of the highway network should mitigate and manage the traffic growth which they are predicted to generate to ensure that they do not cause unacceptable levels of traffic congestion, highway safety problems and poor air quality. Highway mitigation and management measures should focus firstly on demand management measures (Policy AC3) including the promotion of sustainable modes of travel, and secondly on the delivery of appropriate highway capacity interventions. Highway capacity interventions should be appropriate to the scale of development and expected impact and will be determined through the associated Transport Assessment.

The outline permission, OUT/2019/0484 approved the main access and the secondary, emergency access to the site as shown on approved drawing Access and Movement Parameter Plan – Drawing No. P16- 0926_10-01D.

This application concentrates solely on the main road loop into and back out of the site. The principle of the development and the location of the accesses into the site have been established.

The current application is in accordance with the approved parameter plan Access and Movement Parameter Plan – Drawing No. P16- 0926_10-01D.

Notwithstanding the above, a number of discussions have been held with the applicant with regards to including provision for a LTN 1/20 compliant cycle track. When the original outline permission was granted planning permission the Sustainable Urban Extension (SUE) Supplementary Planning Document (SPD) was in its infancy. As time as progressed the SUE SPD is now an adopted policy document.

The SUE SPD sets out a number of design policies in which the SUEs are to come forward in accordance with. Within the SUE SPD, it sets out an expected street hierarchy, starting with the main Keresley Link Road (KLR) down to small informal private edge roads.

The next step down from the KLR typology is the 'Avenue' typology which is intended to act as the main access route into the site.

The applicant has worked hard with Officers to include a fully compliant segregated pedestrian and cycle track along the Avenue. The cycle / pedestrian route will start on the south side of the main road, before crossing over to be on the northern side as it traverses westerly, terminating at a focal junction with various sustainable route options beyond.

The main road will contain a number of street trees and build out points accommodating visitor parking spaces.

Taking everything into consideration and being mindful that the site has extant outline permission for up to 500 dwellings, the proposed main road is in accordance with the outline permission, the SUE SPD and will not cause a harmful impact on highway safety or the free flow of traffic. Highways have raised no objections to the application, the application is therefore in accordance with Policy DS3, H21, AC1 and AC2 of the Coventry Local Plan

ECOLOGY, BIODIVERSITY AND TREES

Ecology and Biodiversity

Policy GE3 of the Coventry Local Plan states that Sites of Special Scientific Interest (SSSIs), Local Nature Reserves (LNRs), Ancient Woodlands, Local Wildlife and Geological Sites will be protected and enhanced.

Policy GE3 establishes that developments should provide a net gain and where this is not possible provide some form of offsetting.

The outline application, OUT/2019/0484, assessed the impact of the proposed development. A Biodiversity Impact Assessment (BIA) was submitted with the outline application. Based on that indicative masterplan and the associated open space information the proposed development was concluded to result in the loss of approximately 2.52 units representing only 6.2% of the existing habitat.

The biodiversity loss is compensated against by a contribution via the S.106 agreement attached to the outline permission, OUT/2019/0484.

Trees

Policy GE4 of the Coventry Local Plan states that trees make a valuable contribution to the city's green landscape. New developments should seek to retain existing trees and other landscape features, incorporating them into a high-quality design and landscape proposals where possible. Should loss be unavoidable, compensatory provision of new trees should be proposed as part of a well-designed landscape scheme.

As mentioned above condition No.4, imposed on the outline permission, OUT/2019/0484, set a number of parameters that the application has to meet. Condition No.4 requires all trees, tree groups and hedgerows indicated for retention in the submitted Arboricultural Impact Assessment Sep 2019 to be retained.

Condition No.17, of the outline permission (OUT/2019/0484) requires the submission of an Arboricultural Impact Assessment (AIA), an Arboricultural Method Statement (AMS) and a dimensioned Tree Protection Plan (TPP) to be submitted.

AMENDED REPORT - Arboricultural Assessment - Infrastructure, dated 14th April 2023 - Report Ref: Rev D has been submitted in support of the application.

In total six trees and sections within two hedgerows are proposed for removal as part of the infrastructure proposals. Tree T12 and sections of H1 and H12 are required to be removed to facilitate the construction of the main road network throughout the site.

However, T11, T29, T30 and T31, are now proposed to be removed when originally where required to be retained. These trees have been proposed for removal to accommodate the level change required to install an attenuation basin located within their RPA and due to their physical condition after recent fire damage to these trees.

Another tree, T10 has been damaged by fire recently and is now unsuitable for retention due to the now poor condition of the tree.

Officers are mindful that the Council is not able to demonstrate a five-year housing land supply. As such, the tilted balance is engaged and therefore planning permission should be granted, unless "any adverse impacts of doing so would significantly and demonstrably outweigh the benefits" when assessed against the policies of the NPPF taken as a whole.

The application would bring a number of benefits. The site is an allocated housing site and benefits from outline planning permission; therefore, the site is part of a significant strategic housing allocation. The application seeks permission for the main road infrastructure into the site together with the drainage required to support the houses, subject to current reserved matters applications. As the application is to facilitate the development of the site, it is considered the dwellings would contribute significantly to reducing the council's deficit of housing. The site also provides economic benefits by providing local employment during the construction period and by supporting the local economy.

The outline permission agreed the developable area for the site and the application is in accordance with the outline parameter plans, as assessed above. Taking everything into account it is considered that the application is acceptable.

DRAINAGE

Policy EM4 of the Coventry Local Plan states all major development must be assessed in respect of the level of floor risk from all sources.

Policy EM5 of the Coventry Local Plan states all development must apply SuDS and should ensure that surface water runoff is managed as close to its source as possible.

The outline permission, OUT/2019/0484, assessed the impact of the development of flooding and drainage issues.

The Lead Local Flood Authority were satisfied with the surface water drainage proposals, as set out under the outline permission, subject to a suitably worded condition.

Condition No.21 required: -

- i) A scheme for the provision of surface water drainage, incorporating SuDS attenuation techniques. There must be consideration of features such as green roofs, rain gardens and swales, for the management of surface water peak and total flows, biodiversity and water filtering, in accordance with Coventry City Council's adopted Supplementary Planning Document for 'Delivering a More Sustainable City'.
- ii) A detailed strategy for the long-term maintenance of the SuDS and other surface water drainage systems on site.
- iii) Development discharge rates to be managed to Qbar greenfield rates minus 20%. The discharge rates for brownfield sites shall be considered as greenfield in accordance with the SFRA.
- iv) Evidence the 1 in 100 year plus 40% climate change events will be held within the site boundaries.
- v) Provisions must be made for the drainage of the site to ensure there are no temporary increases in flood risk, on or off site, during the construction phase.
- vi) Provisions must be made for the drainage of the site to ensure there is no discharge of surface water to the Public Highway.
- vii) All proposed outfalls must be confirmed and agreed with the Lead Local Flood Authority prior to the commencement of work on site.
- viii) Evidence that receiving water bodies or sewers are capable of accepting the attenuated flows specified by the Lead Local Flood Authority and that this will not exacerbate the flood risk on or off site. This will include capacity calculations and outcomes, not just the correspondence from Severn Trent Water Ltd in isolation, accepting the point discharges. Evidence of existing sub catchments within the site are needed to support the connectivity survey and confirm the acceptability of proposed point discharges to the watercourses and infrastructure sewers. This must be submitted to, and agreed by, the Local Planning Authority and Lead Local Flood Authority
- ix) Single discharge points will be discouraged on larger sites, as discharge points are to be located to best mimic the natural discharge condition.

- x) A minimum 5m way leave must be provided from the top bank of any ordinary watercourse and open water bodies.
- xi) The development must be considered for the implementation of permeable paving or similar permeable material for the management of total surface water flows, and water filtering in accordance with Coventry City Council's adopted Supplementary Planning Document for 'Delivering a More Sustainable City'.
- xii) Evidence to show the management of overland flow routes in the event of exceedance or blockage to the drainage system. Details should include demonstration of how the building will be protected in such an event. Finished floor slab levels must be 300mm above the 1 in 100-year pluvial flood levels.
- xiii) Where new or redevelopment site levels result in the severance, diversion or the reception of natural land drainage flow, the developer shall maintain existing flow routes (where there are no flood risk or safety implications) or intercept these flows and discharge these by a method approved by the Local Planning Authority.
- xiv) The drainage strategy should not result in top water levels of attenuation structures being above the natural ground level and must achieve a 300mm freeboard, in relation to this existing ground level, at the 1 in 100 year plus climate change event.
- xv) Where an attenuation structure is located adjacent to Public Highway boundary, the applicant should demonstrate the structural adequacy of the attenuation structure to safeguard Public Highway.
- xvi) Foul drainage plans

A number of plans and reports have been submitted in support of the application.

The LLFA has been extensively involved in guiding the drainage strategy for the site and are pleased to see the concept and in particular the use of wet forebays and permanently wet channels within the ponds. The SUDs themselves have been designed with multi purposes in mind. Elements of the open attenuation is designed to be functionally “wet” with an appropriately planted wet zone located below outlets in order to give a biodiversity boost. The side slopes for the pond vary to make the feature look natural and accessible for leisure use outside the strict confines of its design purpose. Which means the SUDs are included within the Public Open Space (POS) as an interactive feature which also allows for effective and efficient drainage of the site.

The LLFA therefore do not raise any objections to the application subject to a condition requiring the following: -

- Review the instances of flooding at the 100yr+CC frequency and remove as necessary
- Insert spot levels on gullies within the S278 works.
- Provide a CCTV survey of the completed works to the site outfall as provided by STW
- A detailed strategy document must be submitted to, and approved in writing by, the LPA for the long-term inspection and maintenance of the SuDS and other surface water drainage elements on site. It should also mention any notable Health and

Safety or specialist training, and special equipment required as part of the routine maintenance.

- Prior to the commencement of any works on site, provisions must be made for the drainage of the site to ensure there are no temporary increases in flood risk, on or off site, during the construction phase, particularly with respect to the planned demolition/construction works and the deposition of silts and cementitious materials. This should be covered under environmental risks in the Site-Specific CEMP.
- Where new or redevelopment site levels result in the severance, diversion or reception of natural (or engineered) land drainage flow, the developer shall maintain existing flow routes (where there are no flood risk or safety implications) or intercept these flows and discharge these by a method approved by the Local Planning Authority.

The application is in accordance with Policy DS3, DS4 (Part C), DE1, EM4 and EM5 of the Coventry Local Plan.

IMPACT ON VISUAL AMENITY

Policy DE1 of the Coventry Local Plan seeks to ensure high quality design and development proposals must respect and enhance their surroundings and positively contribute towards the local identity and character of an area.

The National Planning Policy Framework, paragraph 130 states that “Planning policies and decisions should ensure that developments:

- a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;
- b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;
- c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);
- d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;
- e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and
- f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.

The NPPF further states (at paragraph 134) “Permission should be refused for development of that is not well designed that fails to reflect local design policies and government guidance on design. Conversely, significant weight should be given to:

- a) development which reflects local design policies and government guidance on design; and/or

- b) outstanding or innovative designs which promote high levels of sustainability or help raise the standard of design more generally in an area, so long as they fit in with the overall form and layout of their surroundings.

LPAs should seek to ensure that the quality of approved development is not materially diminished between permission and completion, as a result of changes being made to the permitted scheme (for example through changes to approved details such as the materials used)." (Paragraph 135no.).

Whilst this application specifically deals with the main infrastructure and not necessarily any structures.

The SUE SPD sets out a hierarchy of street designs that development parcels within the SUE area has to comply with.

The main road infrastructure the subject of this application is in the form of the 'Avenue' typology.

As mentioned above since the approval of the outline permission and the SUE SPD central government guidance on how cyclist and pedestrians are catered for has changed.

The 'Avenue' typology has undergone extensive negotiations and now is considered to comply with the aim of the LTN 1/20 guidance.

The SuDs design details have taken on board the LLFA requests and now they are multi-functional spaces and not just engineering ponds.

The application is in accordance with Policy DS3, DS4 (Part C) and DE1 of the Coventry Local Plan.

AIR QUALITY

Policy H1 of the Coventry Local Plan states future housing will be designed to create new and stable communities.

Policy H3 of the Coventry Local Plan states that new development must provide a high-quality residential environment which assists in delivering urban regeneration or creating sustainable communities and which overall enhances the built environment. A suitable residential environment includes safe and appropriate access, adequate amenity space and parking provision and be safe from pollution.

Policy EM7 of the Coventry Local Plan states major development proposals will require the submission of an air quality assessment, as they may lead to a significant deterioration in local air quality resulting in unacceptable effects on human health, local amenity or the natural environment.

The Air Quality SPD simplifies the consideration of air quality impacts associated with development schemes and focus on incorporation of mitigation at the design stage,

countering the cumulative impacts of aggregated developments, providing clarity to developers and defining 'sustainability' in air quality terms.

The Site is located within the Coventry citywide Air Quality Management Area which was designated for the potential exceedance of the annual mean nitrogen dioxide (NO₂) air quality objective.

The outline application, OUT/2019/0484, assessed the impact of the proposed development on Air Quality.

Environmental Protection raised no objections to the outline permission on air quality grounds. Instead requested conditions in respect of a Construction Environmental Management Plan (CEMP), low NO_x boilers and EV Charging points.

As the application only proposes supporting infrastructure, and no houses, the requirement of a Construction Environmental Management Plan (CEMP) is still relevant. This can be controlled by a suitably worded condition.

NOISE

Policy H1 of the Coventry Local Plan states future housing will be designed to create new and stable communities.

Policy H3 of the Coventry Local Plan states that new development must provide a high-quality residential environment which assists in delivering urban regeneration or creating sustainable communities and which overall enhances the built environment. A suitable residential environment includes safe and appropriate access, adequate amenity space and parking provision and be safe from pollution.

The outline application, OUT/2019/0484, assessed the impact of the proposed development on noise.

Environmental Protection raised no objections to the outline permission on noise grounds. Instead requested conditions in respect of a Construction Environmental Management Plan and noise assessments to be submitted with each reserved matters application.

As the application only proposes supporting infrastructure, and no houses, the requirement of a Construction Environmental Management Plan (CEMP) is still relevant. This can be controlled by a suitably worded condition.

CONTAMINATED LAND

Policy EM6 of the Coventry Local Plan seeks to ensure that redevelopment of previously developed land does not have a negative impact on water quality, either directly through pollution of surface or ground water or indirectly through the treatment of wastewater by whatever means.

The outline application, OUT/2019/0484, assessed the impact of the proposed development on contaminated land and secured conditions for an Investigation and Risk Assessment to

be submitted prior to commencement of any works on the site, please see condition No.7, attached to OUT/2019/0484.

Condition No.8 and No.9, attached to OUT/2019/0484, required a detailed remediation scheme to be submitted and implement prior to commencement of the remediation works and condition No.10 required a verification report to be submitted.

REPORT - Phase II Ground Investigation, dated October 2021 - Report Ref:21251/1 was submitted. The report shows that there were elevated levels of CO2 in two of the boreholes. As only 3 visits had been made, the full 6 monitoring visits were required to be carried out and further information on the gas screening levels to be submitted after this. As such, REPORT - Ground Gas Risk Assessment, dated 25th November 2022 - Report Ref:PJSG21-60-DCO-01, was submitted. On the basis of this report, the conditions attached to the outline, No.7, No.8 and No.9 can all be discharged.

Environmental Protection do not raise any objections subject to a condition requiring any unusual ground conditions are encountered during development are report to the city council.

EQUALITY IMPLICATIONS

Section 149 of the Equality Act 2010 created the public sector equality duty. Section 149 states:-

- (1) A public authority must, in the exercise of its functions, have due regard to the need to:
 - a) eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under this Act;
 - b) advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it;
 - c) foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

Officers have taken this into account and given due regard to this statutory duty, and the matters specified in Section 149 of the Equality Act 2010 in the determination of this application.

There are no known equality implications arising directly from this development.

CONCLUSION

The application seeks permission for the main supporting infrastructure required to facilitate the housing that has been approved under outline permission, OUT/2019/0484. Two concurrent applications are pending which relate to the outstanding reserved matters relating to appearance, landscaping, layout and scale of the proposed houses (RMM/2022/1982 and RMM/2022/2615). The proposal complies with the requirements of the outline permission and in view of the design and siting of the development, it accords with development plan policies and supplementary planning guidelines and therefore the application is recommended for approval, subject to conditions.

CONDITIONS /REASON

1.	The development hereby permitted shall begin not later than 3 years from the date of this decision.
Reason	<i>To conform with Section 91 of the Town and Country Planning Act 1990 (as amended)</i>
2.	<p>The development hereby permitted shall be carried out in accordance with the following approved plans:</p> <ul style="list-style-type: none"> • AMENDED DRAWING - Infrastructure Application Plan - Drawing No.EM038-IA-001G • AMENDED DRAWING - Infrastructure Landscaping Plan - Drawing No.EMxxx-LS-008e • AMENDED DRAWING - Road & Sewer Profiles - Road 1 - Drawing No.EM038-EN-102F • AMENDED DRAWING - Road & Sewer Profiles, Road 2, 3 & 5 - Drawing No.EM038-EN-103E • AMENDED DRAWING - Road & Sewer Profiles, Road 4, 6, 7, 8 & 9 - Drawing No.EM038-EN-104D • AMENDED DRAWING - Road & Sewer Profiles, Road 10 - Drawing No.EM038-EN-105D • AMENDED DRAWING - Road & Sewer Profiles - Road 11, 12, 13 & 14 - Drawing No.EM038-EN-106F • AMENDED DRAWING - Road & Sewer Profiles, Road 15-19 - Drawing No.EM038-EN-107E • AMENDED DRAWING - S21 Control Chamber - Drawing No.EM038-EN-114 • AMENDED DRAWING - S74 Control Chamber - Drawing No.EM038-EN-115 • AMENDED DRAWING - S139 Control Chamber - Drawing No.EM038-EN-116 • AMENDED DRAWING - S153 Control Chamber - Drawing No.EM038-EN-117 • AMENDED DRAWING - Headwall Details - Drawing No.EM038-EN-118 • AMENDED DRAWING - Sketch Layout - Drawing No.EM038-PD-005AA • AMENDED DRAWING - Sketch Layout - Drawing No.EM038-PD-004AA (1 of 2) • AMENDED DRAWING - Sketch Layout - Drawing No.EM038-PD-004W (2 of 2) • AMENDED DRAWING - Pond 1 Arrangement - Drawing No.EM038-EN-110B • AMENDED DRAWING - Pond 2 Arrangement - Drawing No.EM038-EN-111B

	<ul style="list-style-type: none"> • AMENDED DRAWING - Pond 3 Arrangement - Drawing No.EM038-EN-112B • AMENDED DRAWING - Pond 4 Arrangement - Drawing No.EM038-EN-113B • AMENDED REPORT - Storm Network 1 calculations, dated 20th July 2023 • AMENDED REPORT - Critical Storm Network 1 calculations, dated 20th July 2023 • AMENDED REPORT - Storm Network 2 calculations, dated 20th July 2023 • AMENDED REPORT - Critical Storm Network 2 calculations, dated 20th July 2023 • AMENDED DRAWING - Manhole Schedules Sheet 1 - Drawing No.EM038-EN-108F • AMENDED DRAWING - Manhole Schedules Sheet 2 - Drawing No.EM038-EN-109F • AMENDED DRAWING - S104 Adoption Plan - Sheet 1 - Drawing No.EM038-EN-100J • AMENDED DRAWING - S104 Adoption Plan - Sheet 2 - Drawing No.EM038-EN-101G • AMENDED DRAWING - Section 278 - General Arrangement - Drawing No.10857-100-301 Rev C • AMENDED DRAWING - Section 278 - Vehicle Tracking - Drawing No.10857-100-401 Rev C • AMENDED DRAWING - Section 278 - Road Cross Sections - Sheet 2 - Drawing No.10857-100-503 Rev B • AMENDED DRAWING - Section 278 - Highway Construction Details - Sheet 1 - Drawing No.10857-150-101 Rev A • AMENDED DRAWING - Section 278 - Drainage Layout - Drawing No.10857-500-101 Rev C • REPORT - Phase II Ground Investigation, dated October 2021 - Report Ref:21251/1 • REPORT - Ground Gas Risk Assessment, dated 25th November 2022 - Report Ref:PJSG21-60-DCO-01 • AMENDED REPORT - Arboricultural Assessment - Infrastructure, dated 18th September 2023 - Report Ref: Rev D
Reason	<i>For the avoidance of doubt and in the interests of proper planning</i>
3.	<p>No development (including any demolition) shall take place unless and until a Construction Management Plan (CMP) has been submitted to and approved in writing by the Local Planning Authority. The CMP shall include details of: -</p> <ul style="list-style-type: none"> • hours of work; • HGV routing plan; • hours of deliveries to the site;

	<ul style="list-style-type: none"> • the parking of vehicles of site operatives and visitors during the demolition/construction phase; • the delivery access point; • the loading and unloading of plant and materials; • anticipated size and frequency of vehicles moving to/from the site; • the storage of plant and materials used in constructing the development; • the erection and maintenance of a security hoarding including decorative displays and facilities for public viewing where appropriate; • wheel washing facilities and other measures to ensure that any vehicle, plant or equipment leaving the application site does not carry mud or deposit other materials onto the public highway; • measures to control the emission of dust and dirt during demolition and construction; • measures to control the presence of asbestos; • measures to minimise noise disturbance to neighbouring properties during demolition and construction; • details of any piling together with details of how any associated vibration will be monitored and controlled; and • a scheme for recycling / disposing of waste resulting from demolition and construction works. <p>Thereafter, the approved details within the CMP shall be strictly adhered to throughout the construction period and shall not be amended in any way.</p>
Reason	<p><i>The agreement of a Construction Management Plan prior to the commencement of development is fundamental to ensure a satisfactory level of environmental protection; to minimise disturbance to local residents and in the interests of highway safety during the construction process in accordance with Policies EM7, AC1 and AC2 of the Coventry Local Plan 2016.</i></p>
4.	<p>Prior to the installation of any street lighting, an external lighting strategy shall be submitted to and approved in writing by the Local Planning Authority. The strategy shall demonstrate that lighting shall be kept to a minimum at night in order to minimise impact on emerging and foraging bats, and to restrict light spillage onto foraging corridors and the ancient woodland. The lighting shall be installed in full accordance with the approved strategy and all lighting thereafter shall be subsequently maintained in strict accordance with the approved details.</p>
Reason	<p><i>To ensure that protected species are not harmed by the development in accordance with Policy GE3 of the Coventry Local Plan 2016 and the advice contained within the NPPF 2018</i></p>
5.	<p>The development hereby permitted shall only proceed in strict accordance with a scheme for targeting and utilising local people for construction and</p>

	employment, which shall be submitted to an approved in writing by the Local Planning Authority.
Reason	<i>To secure local employment in accordance with the City Council jobs strategy and Policy JE7 of the Coventry Local Plan 2016.</i>
6.	<p>The development hereby permitted shall be in accordance with the following approved drainage plans, namely:-</p> <ul style="list-style-type: none"> • AMENDED REPORT - Storm Network 1 calculations, dated 20th July 2023 • AMENDED REPORT - Critical Storm Network 1 calculations, dated 20th July 2023 • AMENDED REPORT - Storm Network 2 calculations, dated 20th July 2023 • AMENDED REPORT - Critical Storm Network 2 calculations, dated 20th July 2023 • AMENDED DRAWING - Sketch Layout - Drawing No.EM038-PD-005AA • AMENDED DRAWING - Sketch Layout - Drawing No.EM038-PD-004AA (1 of 2) • AMENDED DRAWING - Sketch Layout - Drawing No.EM038-PD-004W (2 of 2) • AMENDED DRAWING - Road & Sewer Profiles - Road 1 - Drawing No.EM038-EN-102F • AMENDED DRAWING - Road & Sewer Profiles, Road 2, 3 & 5 - Drawing No.EM038-EN-103E • AMENDED DRAWING - Road & Sewer Profiles, Road 4, 6, 7, 8 & 9 - Drawing No.EM038-EN-104D • AMENDED DRAWING - Road & Sewer Profiles, Road 10 - Drawing No.EM038-EN-105D - same as submitted 13.06.23 • AMENDED DRAWING - Road & Sewer Profiles - Road 11, 12, 13 & 14 - Drawing No.EM038-EN-106F • AMENDED DRAWING - Road & Sewer Profiles, Road 15-19 - Drawing No.EM038-EN-107E • AMENDED DRAWING - Manhole Schedules Sheet 1 - Drawing No.EM038-EN-108F • AMENDED DRAWING - Manhole Schedules Sheet 2 - Drawing No.EM038-EN-109F • AMENDED DRAWING - S104 Adoption Plan - Sheet 1 - Drawing No.EM038-EN-100J • AMENDED DRAWING - S104 Adoption Plan - Sheet 2 - Drawing No.EM038-EN-101G • AMENDED DRAWING - Pond 1 Arrangement - Drawing No.EM038-EN-110B • AMENDED DRAWING - Pond 2 Arrangement - Drawing No.EM038-EN-111B • AMENDED DRAWING - Pond 3 Arrangement - Drawing No.EM038-EN-112B

	<ul style="list-style-type: none"> • AMENDED DRAWING - Pond 4 Arrangement - Drawing No.EM038-EN-113B • AMENDED DRAWING - Overland Flow - Drawing No.EM038-EN-116 <p>Notwithstanding, the above, prior to commencement of the development hereby permitted the following drainage details shall be submitted to and approved in writing by the Local Planning Authority:</p> <ol style="list-style-type: none"> 1. Review the instances of flooding at the 100yr+CC frequency and remove, as necessary. 2. Insert spot levels on gullies within the S278 works. 3. Provide a CCTV survey of the completed works to the site outfall as provided by STW 4. A detailed strategy document must be submitted to, and approved in writing by, the LPA for the long-term inspection and maintenance of the SuDS and other surface water drainage elements on site. It should also mention any notable Health and Safety or specialist training, and special equipment required as part of the routine maintenance. 5. Prior to the commencement of any works on site, provisions must be made for the drainage of the site to ensure there are no temporary increases in flood risk, on or off site, during the construction phase, particularly with respect to the planned demolition/construction works and the deposition of silts and cementitious materials. This should be covered under environmental risks in the Site-Specific CEMP. 6. Where new or redevelopment site levels result in the severance, diversion or reception of natural (or engineered) land drainage flow, the developer shall maintain existing flow routes (where there are no flood risk or safety implications) or intercept these flows and discharge these by a method approved by the Local Planning Authority. <p>The drainage details shall be installed in full accordance with the approved documentation prior to the first use of the site and thereafter shall be maintained and shall not be removed or altered in any way unless alternative details have been approved via a discharge of condition application.</p>
Reason	<p><i>To ensure that adequate drainage facilities are available for the satisfactory and proper development of the site in accordance with policies EM1, EM4 and EM5 of the Coventry Local Plan 2016 and Coventry City Councils adopted Supplementary Planning Document for Delivering a More Sustainable City.</i></p>
7.	<p>No development, relating to the internal junction hereby permitted shall commence unless and until full engineering and construction details of the internal junction at the western end of the spine road hereby permitted, as</p>

	shown on approved drawing, AMENDED DRAWING - Infrastructure Application Plan - Drawing No.EM038-IA-001G have been submitted to and approved in writing by the local planning authority. The junction shall not be used unless and until the approved works have been completed in accordance with the approved plans. The works shall be retained as approved thereafter unless alternative details have been approved via a discharge of condition application.
Reason	<i>In the interests of highway safety in accordance with the aims and objectives of Policies AC1, AC2 and AC3 of the Coventry Local Plan 2016</i>
8.	No development, relating to the 3m combined footway and cycle track, hereby permitted shall commence unless and until full engineering and construction details of the 3m combined footway and cycle track running parallel to the western side of Bennetts Road North as shown on approved drawing, AMENDED DRAWING - Infrastructure Application Plan - Drawing No.EM038-IA-001G, have been submitted to and approved in writing by the local planning authority and not in use until the approved works have been completed in accordance with the approved plans. The works shall be retained as approved thereafter, unless alternative details have been approved via a discharge of condition application
Reason	<i>In the interests of highway safety in accordance with the aims and objectives of Policies AC1, AC2 and AC3 of the Coventry Local Plan 2016</i>
9.	No use of the carriageway(s) and / or footway(s) hereby permitted shall be brought into public use unless and until details of road directional signage and road markings have been submitted to and approved in writing by the Local Planning Authority. The signage and road marking shall be installed in full accordance with the approved details prior to first use of the infrastructure hereby permitted and thereafter retained and shall not be removed or altered in any way.
Reason	<i>In the interests of highway safety in accordance with Policies AC1 and AC2 of the Coventry Local Plan 2016.</i>
10.	The access shown on the eastern boundary with Bennetts Road frontage shall be used by emergency vehicles only with gates/bollards kept closed at all times other than in the event of an emergency.
Reason	<i>To ensure that use of the emergency access is restricted, in the interests of highway safety in accordance with Policies AC1 and AC2 of the Coventry Local Plan 2016</i>
11.	The existing hedge(s) and tree(s) indicated on the approved plan AMENDED DRAWING - Infrastructure Application Plan - Drawing No.EM038-IA-001G and contained within AMENDED REPORT -

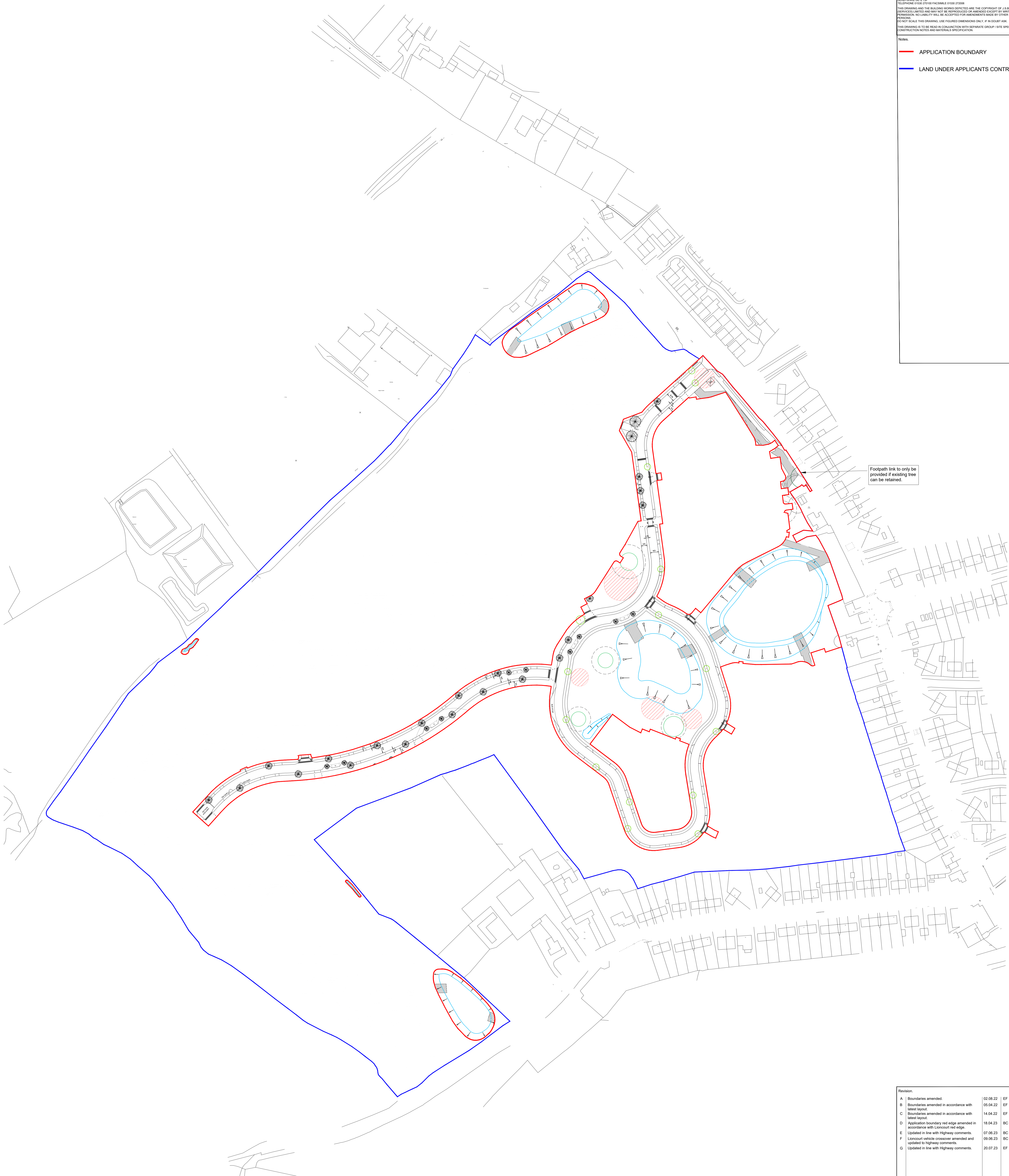
	Arboricultural Assessment - Infrastructure, dated 18th September 2023 - Report Ref: Rev D, unless alternative details have been approved via a discharge of condition application, to be retained shall not be cut down, grubbed out or otherwise removed or topped or lopped so that the height of the hedge(s) falls below 2m at any point. Any hedge(s) removed without consent or dying, or being severely damaged or diseased or becomes; in the opinion of the Local Planning Authority; seriously damaged or defective, shall be replaced within the next planting season with hedging, tree(s) and/or shrub(s) of such size and species details of which must be submitted to and approved by the Local Planning Authority. All hedging, tree(s) and shrub(s) shall be planted in accordance with British Standard BS 8545:2014 Trees: from nursery to independence in the landscape - Recommendations and BS4428 - Code of Practice for General Landscape Operations (excluding hard surfaces).
Reason	<i>To protect those landscape features which are of significant amenity value to the area and which would provide an enhanced standard of appearance to the development in accordance with Policies GE3, GE4 and HE2 of the Coventry Local Plan 2016.</i>
12.	No development or other operations (including any demolition, site clearance or other preparatory works) shall commence unless and until the tree protection measures identified in the approved AMENDED REPORT - Arboricultural Assessment - Infrastructure, dated 18th September 2023 - Report Ref: Rev D, unless alternative details have been approved via a discharge of condition application, have been put into place in strict accordance with the approved details and thereafter they shall remain in place during all construction work. In addition no excavations, site works, stock piling, trenches or channels shall be cut or pipes or services laid, no fires shall be lit within 10 metres of the nearest point of the canopy or root protection area of any protected tree(s); no equipment, machinery or structure shall be located within this zone; no mixing of cement or use of other contaminating materials or substances shall take place within, or close enough to, a root protection area that seepage or displacement could cause them to enter a root protection area or any other works carried out in such a way as to cause damage or injury to the tree(s) by interference with their root structure and that no soil or waste shall be deposited on the land in such a position as to be likely to cause damage or injury to the tree(s).
Reason	<i>To protect those trees which are of significant amenity value to the area and which would provide an enhanced standard of appearance to the development in accordance with Policy GE3 and GE4 of the Coventry Local Plan 2016.</i>
13.	Prior to the first use of the development hereby permitted, details of any hard landscaping works shall be submitted to and approved in writing by the Local Planning Authority. Details shall include any 'off-plot': bollards, railings and/or fences and gates to be erected, specifying the type and

	colour of the railings and gates; footpaths; and hard surfacing (which shall be made of porous materials or provision shall be made to direct run off water from the hard surface to a permeable or porous area). The hard landscaping works shall be completed in strict accordance with the approved details within three months of the first use of the development hereby permitted and thereafter they shall be retained and shall not be removed or altered in any way.
Reason	<i>To ensure a satisfactory standard of appearance of the development in the interests of the visual amenities of the area in accordance with Policy DE1 of the Coventry Local Plan 2016.</i>
14.	The soft landscaping shown on the approved plan, AMENDED DRAWING - Infrastructure Landscaping Plan - Drawing No.EMxxx-LS-008e, unless alternative details have been approved via a discharge of condition application, shall be completed in all respects by the first use my members of the public and the tree(s) and shrub(s) shall be planted within the first planting season following the first use my members of the public. Any tree(s) or shrub(s) removed, dying, or becoming; in the opinion of the Local Planning Authority; seriously damaged, defective or diseased within five years from the substantial completion of the scheme shall be replaced within the next planting season by tree(s) or shrub(s) of similar size and species to those originally required to be planted. All hedging, tree(s) and shrub(s) shall be planted in accordance with British Standard BS 8545:2014 Trees: from nursery to independence in the landscape - Recommendations and BS4428 - Code of Practice for General Landscape Operations.
Reason	<i>To ensure a satisfactory standard of appearance of the development in the interests of the visual amenities of the area in accordance with Policies GE1 and DE1 of the Coventry Local Plan 2016.</i>
15.	In the event that contamination or unusual ground conditions are encountered during the development it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken, and where remediation is necessary, a remediation scheme must be prepared for submission to and approval in writing of the Local Planning Authority. Following completion of the measures identified within the approved remediation scheme, a verification report must be prepared for submission to and approval of the Local Planning Authority.
Reason	<i>To safeguard health, safety and the environment in accordance with Policy EM6 of the Coventry Local Plan 2016 and the aims and objectives of the NPPF.</i>

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 THIS DRAWING IS TO BE READ IN CONJUNCTION WITH SEPARATE GROUP SITE SPECIFIC CONSTRUCTION NOTES AND MATERIALS SPECIFICATION.

Notes:
 APPLICATION BOUNDARY
 LAND UNDER APPLICANTS CONTROL



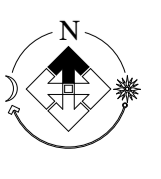
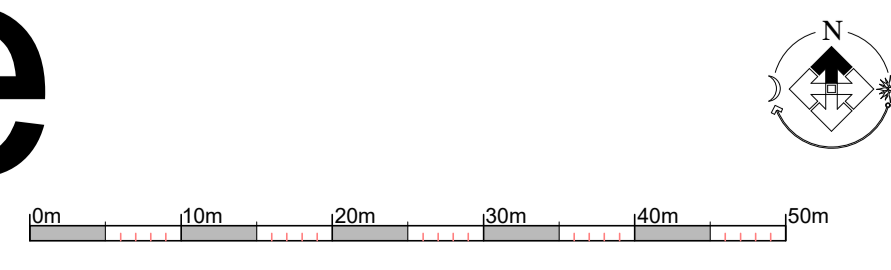
Footpath link to only be provided if existing tree can be retained.

Revision			
A	Boundaries amended.	02.08.22	EF
B	Boundaries amended in accordance with latest layout.	05.04.22	EF
C	Boundaries amended in accordance with latest layout.	14.04.22	EF
D	Application boundary red edge amended in accordance with layout red edge.	18.04.23	BC
E	Updated in line with Highway comments.	07.06.23	BC
F	Lioncourt vehicle crossover amended and updated to highway comments.	09.06.23	BC
G	Updated in line with Highway comments.	20.07.23	EF

**BENNETTS ROAD NORTH
 KERESLEY
 COVENTRY**
**Infrastructure
 Application Plan**
 DATE: JAN '22
 SCALE: 1:500 @ A0
 DRAWN: EF
 CHECKED: -

BLOOR HOMES
 Drawing No. EM038-IA-001G

Keresley, Coventry - Whole Site



SPECIFICATION
- Applies to all landscape operations.

PROPOSED TREE PLANTING DETAIL
- Plot Trees in Soft Landscaping

PLANTING SCHEDULE
- All areas

1 GENERAL
1.1 Preliminaries
Health and safety considerations are as the Bloor Homes Trade Specifications.
The following specification is in line with the Trades Specification, however where there are specific requirements, these notes take precedence over the general guidance outlined within the Trade Specification.
The Site Manager should possess and distribute information to the relevant contractors regarding all underground services, engineering, drainage, lighting and electrical constraints and current proposed landscaping prior to external works and landscaping operations.
Tree and hedge protection, subsoil cultivation, topsoiling and leveling/grading operations outlined below are the responsibility of the Site Agent unless stated otherwise.
Trees in hard surfaces will require engineered tree pits which will require construction when surfaces and service routes are being installed. Reference should be made to the appropriate tree pit detail drawing provided by the engineers and on the landscape drawings where applicable.
Where tree pits are within 3m of roads and services, and within 3m of other paved surfaces a linear root barrier is to be installed in accordance with the manufacturer's instructions. The barrier should be as near as possible to the surface or service route to be protected to provide as much rooting area as possible for the tree.
Distances may vary according to requirements.

1.2 Soft Landscaping Considerations
All soft landscaping should be carried out by specialist landscape sub-contractor who is either British Association of Landscape Industries (BALI) accredited or can demonstrate a proven track record.
All plants shall conform to the specification details shown on this drawing, which are taken from the National Plant Specification, and must be well rooted, healthy stock. Plants required for hedging or planting must be uniform in every respect.
Plants must be in accordance with the relevant section of the current BS 5396 Nursery Stock Specification, and trees to the most current current BS 5428.
Independence in the Landscape.
Supporting nurseries shall be registered under the HTA Nursery Certification Scheme.
All plants shall be packed, transported and handled in accordance with the Code of Practice for Plant Handling as produced by the Committee for Plant Supply and Establishment (CPSE) and handling of trees to the most current BS 5428.

1.3 Tending and Implementation
Landscape Contractors are required to tender and implement as per the schedule and specification.
It is recognised that there are seasonal variations in plant availability and so it may be necessary for plant specifications to be revised. However any substitutions should be with a suitable alternative of comparable size to meet the schedule requirements, and should be approved by the Bloor Homes Landscape Design/ Commercial Department.
All landscape implementation will be audited. Plant material not approved will be rejected and replaced at the Landscape Contractor's own expense, as stated in 1.2. The site should be found in a condition as described in the Ground Workers Trade Specification document which includes the removal of all builders debris and the hardware base set for scaffolding.
Any variance from the specification stated on each landscape drawing may result in a request to replace planting, at the contractors expense.

2 RETENTION OF EXISTING TREES AND HEDGEROWS
Precautions must be taken to ensure that existing trees and hedges are retained unless undisturbed with roots and branches protected with robust barriers in accordance with the most current BS 5837 Trees in Relation to Design, Demolition and Construction. Any tree surgery work should be in accordance with the most current BS 3998 Recommendations for Tree Work and must comply with any Conservation Area, Tree Preservation Orders or specific planning conditions where appropriate. Reference must be made to Tree Protection Drawings.

3 PRE-PLANTING AND PRE-TURFING GROUND PREPARATION (Groundworking)
3.1 Subsoil Cultivation
Prior to any topsoiling all subsoil should be thoroughly 'topped' to relieve compaction using suitable machinery, or by hand in confined areas or in proximity to existing tree roots to a depth of 150mm.

3.2 Imported and Stored Topsoil
Wherever possible store and in-spread existing topsoil to PDS areas to encourage re-generation of local native species.
Topsoil, all topsoiling and soil storage operations are to be carried out in accordance with the current BS 3882 Specification for Topsoil. Topsoil spreading should be carried out to depths shown below and all topsoiled areas should be covered with an extraneous matter such as perennial weeds, plastic, wood, metal and stones greater than 50mm in any dimension which should be removed from site by a screening facility.
Minimum depths of topsoil after firming and of subsoil cultivation to be achieved:
Type of Soft Landscaping Topsoil Depth Depth of subsoil to be broken up
Planted areas* 300mm 150mm
Green Areas 150mm 150mm
* Remove extraneous matter within cultivated subsoil above 75mm in any dimension.

3.3 Levelling/Grading
In final grading operations finished soil levels adjacent to buildings are to be 150mm below damp proof course. For planted areas where 75mm depth bark mulch is specified the soil should be graded down towards adjacent paved or grass surfaces to 50mm below the paving or grass. This allows for full depth of bark mulch with 15mm clearance for water to drain from the surface to the adjacent paving ready to receive the turf and for seeded areas at least 15mm above.

3.4 Weed Treatment
Only where necessary, because significant weed growth has started to establish, treat existing weeds with a non-residual based, herbicide and allow a suitable period as recommended by the manufacturer for this to take effect and communicate any discrepancies with our Site Manager.
Herbicide should be used strictly in accordance with the manufacturer's instructions and only by qualified staff. Use products that are approved by the Soil Association.
Remove small amounts of weed growth within shrub beds by hand at time of planting.

4 PLANTING
4.1 Ground Preparation
Planting shall not be carried out when the ground is waterlogged, frost bound or during periods of cold drying winds.
All planting, seeding and turfing operations are to be in accordance with latest BS 4428 Code of Practice for General Landscape Operations.
A general rule of thumb for organic slow release fertiliser is the rate of 100g/m² to be incorporated into the top 150mm of topsoil during final cultivation.

4.2 Setting Out
Shrubs and hedges are to be set out as shown on the drawing at the specified densities and centres. The operatives carrying out the works should be able to interpret drawings, set out landscaping areas and communicate any discrepancies with our Site Manager.
Ornamental hedges are to be planted in a single row unless otherwise stated.
Trees are to be planted in the positions shown on the drawing ensuring that they are at the correct distance from adjacent buildings and 1.5m from drainage runs.
It is imperative that trees are planted with the correct species and location as specified in the drawings in accordance with the NHR Standards Chapter 4.2, or the LABC Standards, whichever is applicable.
It is the contractor's responsibility to ensure that all underground services have been located and identified in advance of tree pit excavation to avoid damage to any underground services or cables.

4.3 Planting
Bare rooted and root balled stock to be planted between mid-November and end February.
Planting pit sizes should be relative to the container size or root ball of the plant and shall be sufficiently large enough to accommodate the plants without root damage and allow for backfill of topsoil and planting compost.
All ornamental hedgerow/boundary plants are to be 'topped' cut to form a level hedge across each section of new hedging.
Plants are to be set planted into the prepared soil incorporating top free tree and shrub compost in quantities shown below, and firmed in.
Quantities of top free tree and shrub planting compost:
2.3L Shrubs and Herbaceous 3 Litres
1.5L Shrub 5 Litres
2L Specimens 10 Litres
Trees 20 Litres plus 100g/m² organic slow release fertiliser and 150mm mechanical dressing such as 'Rootguard'

4.4 Mulch
All trees and shrubs are to be watered thoroughly, to full ground capacity, immediately after planting and before the application of mulch. The landscape contractor shall allow for provision of all equipment to complete this initial watering, using water supply point as directed on site.
4.5 Tree Support
All trees up to and including selected standards are to be supported with single 75mm diameter stake.
Stakes are to be securely driven into the ground prior to planting to a height above ground that is one third of the height above ground of the tree when planted to allow free movement of the crown. Secure street trees to cross-brace with an adjustable plastic / rubber tie with spacer and buckle (buckle end to be nailed to stake).
Each tree should be fitted with a tree irrigation/aeration system unit fitted to fully surround the root ball in accordance with the details. Refer to specific tree planting details.
Linear root barriers where required should be installed as near to the surface or service route to be protected as possible to provide as much rooting area for the tree as possible. Ensure that there are no sharp objects close to either side of the barrier and that the top edge of the root barrier remains 150mm above the surface on the tree side with no growing medium over the top of the barrier. Overlapping ends should be joined by taping both sides with joining tape.

4.6 Mulch
All trees and shrubs are to be watered thoroughly, to full ground capacity, immediately after planting and before the application of mulch. The landscape contractor shall allow for provision of all equipment to complete this initial watering, using water supply point as directed on site.
Towers the area to be mulched to evenly firm from annual and perennial weeds and topsoil watered prior to applying an even spread of mulch to planting areas to control weeds and retain moisture.
Unless instructed otherwise apply good quality bark mulch to a depth of 75mm to planting beds, hedgerows and tree trunks.
Where stone mulch is requested by the regional office apply 40mm of stone over Flantes Geotextile membrane or equivalent pegging down with metal pegs.
Finished soil levels adjacent to buildings are to be 150mm below damp proof course. For planted areas where 75mm depth bark mulch is specified the soil should be graded down to adjacent paved or grass surfaces to 50mm below the paving or grass. This allows for full depth of bark mulch with 15mm clearance.
Where 40mm depth stone mulch is specified with geo-textile membrane grade to 55mm below paving or grass within 500mm.
Finished mulch levels should be no higher than 15mm below adjacent pavement or grass levels to avoid any spillages.

5 GRASS
5.1 Turf Preparation
The area to be turfed shall be cultivated to a minimum depth of 150mm removing all weeds, debris and stones over 25mm diameter which should be placed in waste skip or as directed by the site manager. The surface shall be raked to smooth finishing contours with a fine rith, incorporating pre-seeding fertiliser at 90 g/m².
5.2 Delivery and Storage
Turf shall be supplied in accordance with the most current BS 3996 Recommendations for Turf for General Purposes.
Turf shall be cultivated high grade turf with well rooted sods from stone, weeds and coarse grasses. It shall be close textured, green in colour and be sufficiently porous to withstand handling. Turf rolls shall be capable in stock, 300mm wide and uniform thickness (minimum 20mm). The grass shall be closely sown and shall not exceed 20mm in height.
Turf shall be stacked in piles up to 1 metre. It shall not be laid in frost or waterlogged conditions and shall not be stacked in rolls for more than three days. Any turf deemed to be substandard shall be replaced at the landscape sub-contractors cost.

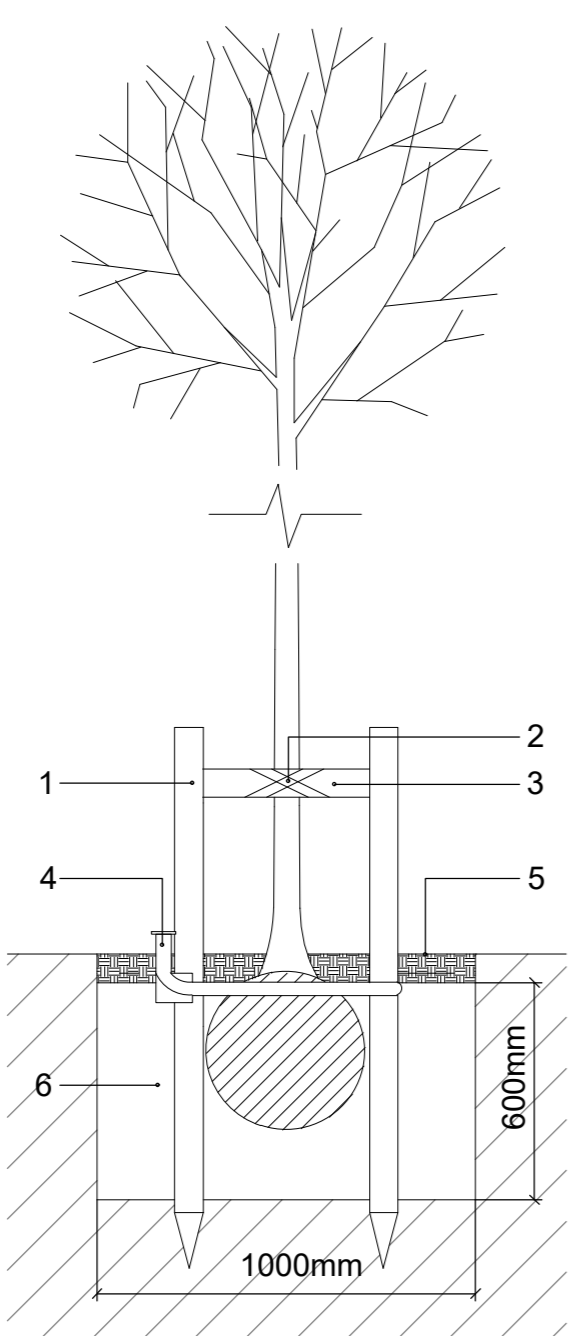
5.3 Turf
Turfing operations shall be in accordance with the most current BS 4428.
Turf should be laid when weather conditions are suitable and not during exceptionally frosty or dry weather conditions.
Turf is to be laid with staggered joints, well butted together, and in firm contact with the soil working from plants positioned on curves always laid. At no time should freshly laid turf be walked on without the use of boards.
The turf shall be watered immediately upon completion. The landscape contractor shall allow for provision of all equipment to complete this initial watering, using water supply point as directed on site.
Any unevenness shall be made good by lifting the turf and adjusting the levels. Should shrinkage occur, fine topsoil shall be brushed into the joints.
Where trees are planted in turfed areas a 750mm diameter circle around each tree to be kept clear of turf.

5.4 Seeding Preparation
The area to be seeded shall be cultivated to a minimum depth of 150mm removing all weeds, debris and stones over 25mm diameter which should be placed in waste skip or as directed by the site manager. The surface shall be raked to smooth finishing contours with a fine rith, incorporating pre-seeding fertiliser at 90 g/m² unless otherwise stated and work into top 50mm during final cultivation.
5.5 Seeding
All grass seed shall be sown in March / April or September during calm weather conditions and not when the ground is frost bound or waterlogged. Seed shall be sown in two equal sowings in traverse directions at 3kg/m² total unless otherwise stated. After sowing the contractor shall lightly rake the seed into intimate contact with the soil.
5.6 Wild Flower Seeding
All wildflower seed mixes are to be from a certified source with local provenance seed stock. Ground preparation to be as supplier's specification / guidance. Sowing applications may vary but are likely to be carried out in early spring or late autumn. If an annual nurse seed mix is specified this is to be sown at 2g/m² plus the specified wildflower seed rate.
After sowing lightly rake the seed into intimate contact with the soil.

6 MAINTENANCE
The landscape contractor shall maintain all non-private landscape areas for a period of 12 months following practical completion to ensure successful establishment. All stock delivered to the site, during or delayed within the 12 months defect period shall be replaced at the contractor at own cost.
The contractor should factor in 12 months of repeat visits, sufficient for the establishment and aftercare of all planting. Non-private areas can be identified for each site. Private plot landscaping will be handed over to the householders as and when each house is occupied, the site will be responsible for watering until handover.

6.1 Weeds Clearance
All planting areas are to be kept weed free by hand weeding unless otherwise specified. Providing adequate mulch, as specified, should aid this. Mulch should also be topped up as required.
6.2 Litter Clearance
All areas are to be kept litter free.
6.3 Watering
Watering to planted areas is to be undertaken as necessary to ensure plants become established.
All trees and shrubs are to be watered thoroughly, to full ground capacity, immediately after planting and before the application of mulch. The landscape contractor shall allow for provision of all equipment to complete this initial watering, using water supply point as directed on site.
Each tree to receive at least 30 gallons when watered.
During maintenance visits, watering should take place as required. Watering visits should be factored in within the 12 months defect period, especially during times of prolonged dry weather.

6.4 Checking Ties
All tree ties and stakes are to be checked, adjusted (if too loose, too tight or if chaffing is occurring) and replaced if damaged or missing. Any broken stakes are to be replaced.
6.5 Formative Pruning
Any damaged shoots/branches are to be pruned back to healthy wood. Plants are to be pruned in accordance with good horticultural practice to maintain healthy well-shaped specimens. Shrubs grown for their coloured stems, such as Cornus, are to be cut back with spring pruning to encourage new growth.
All hedges are to be clipped to keep form hedge to dimensions on drawing/Management Report. Cut back all pavement & kept to a maximum height of 1.2m unless otherwise stated.
6.6 Turfed and Seeded Areas
Where newly turfed & seeded areas reach 50mm they should be lightly rolled and cut to a height of 40mm. All arising shall be removed. Any bare patches shall be made good at this time. Lawn areas should then be cut at appropriate intervals during the growing season to maintain a 40mm high sward. Watering, weeding and repair of all erosion and settlement with re-seeding or turfing shall be undertaken as required to establish a uniform and healthy stand of grass.



- 2x Timber tree stake - 1000 x 1.8m long (tanalised)
- Adjustable plastic / rubber tie with spacer and buckle (buckle end to be nailed to brace)
- FSC Timber cross brace
- Irrigation System - rail to stake with 50mm galvanised nails. Ensure filler cap finishes slightly above mulch level
- Mulch layer - 75mm Ornamental Bark Nuggets - 15-65mm
- Topsoil, compost and fertiliser. Base of tree pit to remain undisturbed, sides scarified

NOTE: Where trees are within 5m of roads and services and within 3m of footpaths linear root barrier with root deflecting ribs, is to be installed in accordance with manufacturers instructions. Barrier is to be adjacent to the surface or service route to provide maximum rooting area.

LEGEND

	EXISTING TREES/HEDGES To be Removed
	EXISTING TREES/HEDGES To be Retained
	PROPOSED TREES Selected Standard See Schedule
	TURF
	WILDFLOWER MEADOW Special General Purpose Meadow Mixture Emergence EMB sown at 4 g/m ²
	SEASONAL WETLANDS Meadow Mixture for Seasonally Wet soils Emergence EMB sown at 4 g/m ²
	MARGINAL MIX See Schedule



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PROPOSED TREES - Heavy Standard

Number	Abbreviation	Species	Girth	Height	Pot Size	Density Specification
1	SALCAP	Salix caprea	12-14cm	350-425cm	45L	Heavy Standard: 5 brks: 3x: RB: Clear Stem 175-200cm
1	TILCOG	Tilia cordata	12-14cm	350-425cm	45L	Heavy Standard: 5 brks: 3x: B: Clear Stem 175-200cm
Total :3						

PROPOSED TREES - Selected Standard

Number	Abbreviation	Species	Girth	Height	Pot Size	Density Specification
31	PRUSNG	Prunus 'Snow Goose'	10-12cm	300-350cm	45L	Selected Standard: 4 brks: C: Clear Stem 175-200cm
5	TILCOGR	Tilia cordata 'Greenspire'	10-12cm	300-350cm	45-45L	Selected Standard: 4 brks: C: Clear Stem 175-200cm
Total :37						

PROPOSED TREES - Standard

Number	Abbreviation	Species	Girth	Height	Pot Size	Density Specification
8	ACECAMST	Acer campestre 'Streetwise'	8-10cm	250-300cm	25-35L	Standard: 3 brks: C: Clear Stem 175-200cm
6	BETUTJ	Betula utilis jacquemontii	8-10cm	250-300cm	35-45L	Standard: 4 brks: C: Clear Stem 175-200cm
6	LIGSTW	Liquidambar styraciflua 'Worplesdon'	8-10cm	250-300cm	35-45L	Standard: 3 brks: C: Clear Stem 175-200cm
7	MALBASP	Malus baccata 'Street Parade'	8-10cm	250-300cm	25-35L	Standard: 3 brks: C: Clear Stem 175-200cm
13	PRUSIAUR	Prunus x subhirtella 'Autumnalis Rosea'	8-10cm	250-300cm	25-35L	Standard: 3 brks: C: Clear Stem 175-200cm
Total :40						

MARGINAL MIX - Individual species to be planted together in groups of 5 minimum in nutrient poor soil.

Number	Abbreviation	Species	Pot Size	Density Specification
126	ALPLAQ	Alisma plantago-aquatica	50cc min. 5m ²	Plug: Established Root min. 2-3 Months: Sept to April planting: British Native-origin: C
126	CALPA	Callitha palustris	50cc min. 5m ²	Plug: Established Root min. 2-3 Months: Sept to April planting: British Native-origin: C
126	IRIPS	Iris pseudacorus	50cc min. 5m ²	Plug: Established Root min. 2-3 Months: Sept to April planting: British Native-origin: C
126	JUNEF	Juncus effusus	50cc min. 5m ²	Plug: Established Root min. 2-3 Months: Sept to April planting: British Native-origin: C
126	JUNIN	Juncus inflexus	50cc min. 5m ²	Plug: Established Root min. 2-3 Months: Sept to April planting: British Native-origin: C
126	LYTSA	Lythrum salicaria	50cc min. 5m ²	Plug: Established Root min. 2-3 Months: Sept to April planting: British Native-origin: C
126	MENAO	Menhata aquatica	50cc min. 5m ²	Plug: Established Root min. 2-3 Months: Sept to April planting: British Native-origin: C
126	MYOSC	Myosotis scorpioides	50cc min. 5m ²	Plug: Established Root min. 2-3 Months: Sept to April planting: British Native-origin: C
126	RANLI	Ranunculus lingua	50cc min. 5m ²	Plug: Established Root min. 2-3 Months: Sept to April planting: British Native-origin: C
Total :1134				



THIS DRAWING IS TO BE READ IN CONJUNCTION WITH SEPARATE GROUP / SITE SPECIFIC CONSTRUCTION NOTES AND MATERIALS SPECIFICATION.

DRAWING NOTES
All tree and shrub locations and species must be taken into consideration by the project Structural Engineer to ensure that foundation design accords with the specifications set out in Chapter 4 of the NHC Standards.
The Landscape Contractor must ensure that plant material is planted in the locations shown and with NO SUBSTITUTIONS made without consulting the Group Landscape Design Department. It is the Landscape Contractor's responsibility to ensure that all underground services have been located and identified in advance of tree pit excavation so that no services are damaged or compromised by tree planting. Any changes to tree positions, species or specifications must be approved by the Group Landscape Design Department. Underground service strips are to be kept free of all plant material.
Contractors must comply with all Health and Safety regulations and be aware of project/site specific information including referring to the information set out in the CDM drawings.

CDM LEGEND

	Caution overhead / underground services.
	Sewer easement.
	Trees have protection order in place, guarding required.

NOTES: Provided contractor to ensure all health and safety procedures are being correctly followed in relation to all temporary works.

Revision

Revision	Date
a	05/04/23
b	06/06/23
c	13/06/23
d	01/07/23
e	07/05/23

Job: Bennetts Road North, Keresley, Coventry
Title: Infrastructure Landscaping
Scale: 1:1000 @A0
Date: Aug 2022
Drawn: LP
Checked: PmJ

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Drawing No: EMxxx-LS-008e

KERESLEY

Planning Committee Report	
Planning Ref:	PL/2023/0000657/FUL
Site:	Macdonald Road Methodist Church, Macdonald Road, Coventry, CV2 5FE
Ward:	Lower Stoke
Proposal:	Demolition of former Macdonald Road Methodist Church and erection of the 10 no. apartments (reduced from 12) with parking, amenity space, cycle storage and associated works (Resubmission of application FUL/2021/3560).
Case Officer:	Richard Edgington

SUMMARY

The scheme seeks consent for the erection of 10 new apartment units set within a single two storey block together with associated works including the demolition of the existing building, access, parking area and landscaping with all other associated works.

KEY FACTS

Reason for report to committee:	The application has been referred to planning committee as more than five objections have been received.
Current use of site:	Vacant Building (former Church/Hall)
Proposed use of site:	Residential with a provision of associated parking and amenity space.

RECOMMENDATION

Planning committee are recommended to grant planning permission, subject to conditions and the completion of the unilateral undertaking.

REASON FOR DECISION

- The proposal is acceptable in principle.
- The proposal will not adversely impact upon highway safety.
- The proposal will not adversely impact upon the amenity of neighbours.
- The proposal makes provision for necessary developer contributions.
- The proposal accords with Policies: DS3, H1, H3, H4, H6, H9, DE1, AC1, AC2, AC3, AC4, GE1, GE2, GE3, EM1, EM2, EM3 and EM7 of the Coventry Local Plan 2016, together with the aims of the NPPF.

APPLICATION PROPOSAL

The application as proposed seeks consent for the erection of 10 residential dwellings in the form of apartments, together with associated works.

SITE DESCRIPTION

The application site is currently vacant following the closure of the Methodist Church a number of years ago. The site lies within a largely residential area east of the city centre off MacDonald Road. The existing building occupies an elevated position within the street scene as a result of a level change. The building is also set back from the main highway and is gated with a steel picket fence treatment. It should be noted that Macdonald Road largely comprises traditional bay fronted dwellings with a primary reliance on on-street car parking.

To the north of the site contains eight dwellings of a more modern construction, the two detached units immediately adjacent to the site lie approximately 1.3m above street level. To the east lies a community hall with associated parking. To the south of the site lies a rear access route to a number of residential dwellings within Morris Avenue and Longfellow Road, which lie to the west and south respectively. The site is not subject to any overarching site constraints which are relevant in the determination of this application.

PLANNING HISTORY

FUL/2021/3560 - Demolition of former Macdonald Road Methodist Church and the development of 14 no. apartments with parking, amenity space, cycle storage and associated works. Refused 14.04.2022 (Dismissed at Appeal)

FUL/2020/1940 - Demolition of existing building and redevelopment of site for 18 apartments and associated works. Withdrawn 20.11.2020

R/2008/1694 - Replacement roof to main hall. Approved 31.10.2008

S/1954/0752 - Erection of church hall, classrooms, kitchen and cloakrooms. Approved 13.06.1954

RELEVANT PLANNING POLICY

National Policy Guidance

National Planning Policy Framework (NPPF). The NPPF sets out the Government's planning policies for England and how these are expected to be applied. It sets out the Government's requirements for the planning system only to the extent that is relevant, proportionate and necessary to do so. The NPPF increases the focus on achieving high quality design and states that it is "fundamental to what the planning and development process should achieve".

The National Planning Practice Guidance (NPPG) adds further context to the NPPF and it is intended that the two documents are read together.

Local Policy Guidance

The current local policy is provided within the Coventry Local Plan 2016, which was adopted by Coventry City Council on 6th December 2017. Relevant policy relating to this application is:

Policy DS1: Overall Development Needs

Policy DS3: Sustainable Development Policy
Policy DS4 (A): General Masterplan Principles
Policy CO2: Re-use or Re-development of Facilities
Policy H1: Housing Land Requirements
Policy H2: Housing Allocations
Policy H3: Provision of New Housing
Policy H4: Securing a Mix of Housing
Policy H6: Affordable Housing
Policy H9: Residential Density
Policy GE1 Green Infrastructure
Policy GE3: Biodiversity, Geological, Landscape and Archaeological Conservation
Policy GE4: Tree Protection
Policy DE1 Ensuring High Quality Design
Policy GB1: Greenbelt and Local Green Space
Policy AC1: Accessible Transport Network
Policy AC2: Road Network
Policy AC3: Demand Management
Policy AC4: Walking and Cycling
Policy AC5: Bus and Rapid Transit
Policy EM1: Planning for Climate Change Adaptation
Policy EM2: Building Standards
Policy EM3 Renewable Energy Generation
Policy EM4 Flood Risk Management
Policy EM5 Sustainable Drainage Systems (SuDs)
Policy EM7 Air Quality
Policy JE7: Access to Employment Opportunities
Policy IM1: Developer Contributions for Infrastructure

Supplementary Planning Guidance/ Documents (SPG/ SPD):

Air Quality
Coventry Connected
New Residential Development Design Guide

CONSULTATION

Objections have been received from:

- **Planning Policy:** An objection is raised as no more recent marketing of the building has been undertaken.
- **Sustainability (Energy):** An objection is raised as no details are provided in this respect. Note that the number of units have been reduced and there is therefore no longer a requirement for this to be provided as a minor development.

No Objections received from:

- **Highways:** No objection, subject to conditions.
- **Urban Design:** No objection, subject to conditions securing materials and boundary treatments.

No objections subject to conditions/contributions have been received from:

- **Ecology:** No comments received.
- **Lead Local Flood Authority:** No objections, subject to a full drainage strategy being secured via condition, inclusive of SUDs.

- **Streetscene and Greenspaces:** Contribution of £18,293.29 required to improve Caludon Castle Park.
- **West Midlands Fire Service:** General Comments received.
- **West Midlands Police:** General comments received in respect of secured by design principles.
- **Environmental Protection:** No objections, subject to contaminated land condition and, electric vehicle charging points being provided and an air quality mitigation strategy being secured.
- **Economic Development:** No objection, subject to condition.

Neighbour, Third Party and Councillor Representations

Immediate neighbours and local councillors have been notified via the display of a site notice alongside a press notice in the Coventry Telegraph.

14 representations have been received, all of which objecting to the development proposals, raising the following material planning considerations:

- a) Density over intensive
- b) Insufficient car parking
- c) Increase in noise as a result of the development
- d) Increased traffic will result in highway safety issues
- e) Change of levels within the site not addressed
- f) Over-intense for the site
- g) Loss of light and privacy
- h) Increase in pollution and air quality issues
- i) Design is out of keeping and incongruous with existing form
- j) Transport assessment not adequate
- k) Insufficient separation distances
- l) Potential increase in crime

Concerns were also raised as to why a further consultation/application has been accepted by the LPA following the previous refusal of permission, this is not deemed to be a material consideration.

Any further comments received following the publication of this report will be reported within late representations.

APPRAISAL

The main issues in determining this application are principle of development, highway considerations, flood risk, noise, contaminated land, air quality, ecology and design.

Principle of Development

The application site is currently vacant; however the site has most recently been in use as a church/hall and is therefore considered to be a community facility. Policy CO2 of the adopted Local Plan therefore applies which states that; 'Proposals for the re-use or redevelopment of community premises for a use outside the scope of this policy will not be supported if: a. There is an outstanding local need which could reasonably be met at that location; b. The site remains viable for existing uses or could be made viable through appropriate diversification of use; or c. the proposal is not compatible with nearby uses'.

Previously it was justified through the submission of marketing information that the site did not remain viable and the marketing evidence submitted demonstrated that there was no longer a viable use for the site as a community facility, thereby meeting the requirements of criterion b of CO2. Planning Policy Officers were also satisfied and raised no objections to the proposed change of use during the previous application.

Within the course of the consultation in this application however, policy have raised an objection to the age of the marketing information submitted. When considering the age of the information it is acknowledged that it is four years old, and whilst in some instances, updated marketing would be requested, in this particular case there are a number of factors which are relevant, and in the view of the case officer negates the requirement for additional marketing to take place.

Primarily, the application is a re-submission of a previously refused scheme. The Planning Inspectorate issued the appeal decision in January 2023 and is therefore deemed recent. Within this appeal decision the principle of development was not challenged or deemed unacceptable, introducing a new reason for refusal on this matter would therefore unlikely be deemed reasonable. Furthermore, the site is in a less usable state within this application, and it would likely take a series of work and investment, greater than what would have previously been required due to the period of vacancy. It is understood that during this period anti-social behaviour issues have arisen within the site which has caused further damage.

Significant weight is also given to Paragraph 11 of the NPPF which sets out the presumption in favour of sustainable development. At the time of writing, Coventry City Council's adopted Local Plan is in excess of 5 years old and whilst policies still carry weight, the five-year housing land supply is now required to be calculated on the standard methodology. At the Abbots Lane Inquiry, it was agreed as a matter of common ground that the current position on the housing land supply was at 1.83 years which is a significant shortfall of the five-year requirement. The tilted balance is therefore engaged, the re-use of a vacant brownfield site also carries significant weight in the planning balance.

Also relevant with the principle of development is Policy H3 which relates to the provision of new housing and sets out a criteria for suitable locations for new housing development. In this case the site is within an established residential area which is well served by a range of amenities inclusive of schools, health and other in-use services associated with residential development.

Overall therefore, in terms of the land use, it is considered that the principle for the re-development of the site for residential is acceptable. Whilst acceptable in principle, this is subject to the material planning considerations which are discussed in the succeeding sections of this report.

Dwelling Mix

Policy H4 of the adopted Local Plan seeks to ensure that developments seek to deliver an appropriate mix of housing. As submitted the applicants are proposing;

2x 1-Bed
2x 2-Bed Units
6x 3-Bed Units

Planning Policy raised no objections to the dwelling mix as proposed, there is no requirement for affordable units to be provided as Policy H6 applies to developments for 25 units or more. When considering the quantum of development on site, there are noted to be objections from neighbours as to the density of the development and implicitly the mix. When considering the Coventry and Warwickshire Housing and Economic Needs Assessment (HEDNA), the weight afforded to housing mix carries weight and the HEDNA updates the superseded 2013 Strategic Housing Market Assessment (SHMA). The density of the site overall is comparable to suburban locations and is not deemed over-intensive now the number of units have been reduced to ten.

The mix proposed is also deemed appropriate, the HEDNA identifies that a mix of 2 and 3 bedroom units should aim for 40% each respectively, whilst 1 and 4 beds should aim for 10% respectively. It should be noted that this is not rigidly applied to each development but should be a target for the wider delivery. In this case, the primary delivery of 3-Bed units with a provision of both 1 and 2 beds are supported by the HEDNA and therefore Policy H4 of the adopted Local Plan. It should also be noted that the internal and external areas now provide a generously proportioned living arrangement for future occupiers with an element of shared amenity space around the site. This was previously a concern of the previous application as the external areas were incidental in relation to the mix and quantum of units proposed. It is considered that the applicants have now addressed this issue and as such the mix of units is acceptable in this case.

Highways and Parking

Policies AC1 and AC2 of the adopted Local Plan seeks to ensure that development proposals do not have an adverse impact on the surrounding highway network, and where any harm is caused should be adequately mitigated. Policy AC3 of the adopted Local Plan seeks to ensure that developments provide sufficient car parking provision in accordance with Appendix 5 of the Coventry Connected SPD. Whilst Policy AC4 seeks to ensure that developments make adequate provision for all users includes pedestrians and cyclists, without prejudice.

The previous application was refused for the following reason:

'In the absence of supporting information within the Transport Assessment, together with the design and layout of the access as proposed, insufficient information has been submitted to demonstrate that the development can provide a proportionate access which is safe, suitable, and convenient for all users and therefore not have a detrimental impact upon the safety of highway users. The proposal is therefore contrary to Policies AC2 and AC4 of the adopted Coventry Local Plan (2016).'

Within the appeal decision the inspector did not consider the bell mouth junction access to necessarily be unsuitable but identified a number of issues and duly held up the reason for refusal;

1. There is an increased risk in the area for accidents as demonstrated on accident data
2. A lack of swept path analysis on the site plan to demonstrate the spaces can be safely used.
3. Limited evidence to suggest refuse vehicles can enter and leave the site.
4. Location of the lay up area to the front for refuse storage.

As part of the revised submission, additional detail has been provided, the accident data cited within the vicinity of the site did not form a previous reason for refusal, the inspector treated the information as a backdrop/information to be mindful of in the decision-making process.

The primary issues identified above have sought to be addressed within this revised submission. Taking these issues in turn, swept path analysis has been provided for refuse storage, and it is conveyed that a private collection service will be used, as a result a site waste management plan has duly been secured via condition. In any case the swept path analysis does show that refuse vehicles can now enter, manoeuvre, and leave the site in a forward gear. There was also a key concern with the refuse storage/lay up area to the front of the site which was within the previous application. This was located adjacent to the entrance to the site and was of significant concern. The applicants have now removed this aspect from the development, and as indicated are to rely on the private collection service which is common for flatted developments.

When considering the internal arrangement, the reduction in units and subsequently parking spaces allows for greater manoeuvrability within the site for future occupiers, the spaces are now deemed more accessible for occupiers and the footway into the site is also supported by Policy AC4. The Local Highway Authority have been consulted and whilst initially raised an objection due to the bell mouth access being retained and the usability of spaces 15 and 16, the applicants have amended the access to a dropped kerb access at the request of the Highway Authority and have also provided tracking diagrams for the spaces of concern, demonstrating that the site allows for sufficient manoeuvring space for the spaces.

It is therefore deemed that with the revisions the development is now acceptable in highway terms. Whilst it is acknowledged that during the consultation neighbouring residents have objected to the development on the basis that there will be a detrimental impact upon the existing highway network due to the increase in parking demand, as the proposed development provides sufficient allocated car parking provision which accords with the councils parking standards as set out in Appendix 5 of the Coventry Connected SPD (providing 18 spaces) plus a visitor space, it is considered that the impact upon the highway would not be severe or therefore warrant refusal under Paragraph 111 of the NPPF (2021).

Design and Character

Paragraph 126 of the NPPF places high regard on good design, and attributes good design to the creation of high-quality buildings and places is fundamental to what the planning and development process should achieve. Paragraph 130 attributes high-quality design to being a key aspect of making a development sustainable, this is consistent with Policy DE1 of the adopted Local Plan.

Within the consultation, a number of objections have been received as to the design and layout of the site as proposed. These objections relate to the proximity of the proposed dwellings to existing properties, and in particular the scale, bulk and massing of the development being out of keeping with the built form of the locality. Previously the former application was refused in part due to the design and visual impacts of the development, the reason for refusal stated that;

'By virtue of the scale, bulk and massing of the development proposed, the development appears as an overly large addition which overdevelops the site and fails to respond to the constraints of the site or to the surrounding locality and as a result, the layout also fails to

allow for sufficient circulation, landscaping and amenity space. The development therefore fails to provide a high-quality development, contrary to Paragraph 130 of the National Planning Policy Framework (2021) and Policies H3 and DE1 of the adopted Coventry Local Plan (2016)'.

In this case the revised submission seeks to address this reason for refusal by reducing the footprint of the larger apartment building, whilst also removing the two-unit block which was located to the north of the access, directly adjacent to No. 25 Macdonald Road. In reducing the footprint the applicants have now achieved a design which allows for a greater provision of amenity space, whilst also achieving a less bulky structure which sits more appropriately within the site.

The applicants were also seeking to fully excavate the site to road level, this created concern to the relationship with No. 25 Macdonald Road which occupies a higher position within the street. Neighbours have objected to this current application also on the basis that the impact would be unacceptable to the neighbours and character. However, in removing the two-unit block, there is no longer a requirement to excavate the land. Whilst detailed levels and boundary treatments are secured as part of the conditions attached to this recommendation, it is deemed that removing this element of the scheme makes a significant improvement to the previous iterations and allows for a greater transition between the levels along the western street scene within Macdonald Road.

The other consequence of removing the two-storey block allows for greater amenity space and landscaping for future occupiers which is supported by the New Residential Design Guide SPD. A previous reason for refusal also related to internal circulation space generally, reducing the unit numbers however, reduced the parking requirement within the site which allows for greater circulation within the car park and defensible spaces in front of ground floor habitable room windows. The series of changes made within the re-submission and the amendments secured through the course of the application cumulatively mark a significant improvement to the scheme and it is now deemed that this reason for refusal is suitably addressed.

Further details are however required to be secured via condition, within the consultation concern was raised to the massing and visual impact of the proposal, however with quality and sympathetic materials to harmonise with the street scene the application is not deemed contrary to adopted policy and would in the view of the case officer, mark an improvement on the appearance of the street scene when compared with the existing building and its current condition in particular. A suitable landscaping scheme is also considered to be a key component of the scheme which has again been secured via condition.

Residential Amenity

Paragraph 130 of the NPPF requires new development proposals to ensure a high-quality living environment is provided. Policy DE1 of the adopted Local Plan is consistent with the NPPF in this respect. In this case it is noted that there have been a number of objections received raising concerns as to the impact of the development upon adjacent residents by virtue of the loss of light and privacy, together with associated noise aspects.

With respect of the light and privacy aspects of the development upon existing occupiers, concern is primarily raised to the proximity of the building to neighbouring residents. To aid the acceptability of such relationships the New Residential Design Guidance SPD sets out a rear-to-rear separation distance of 20m for two storey buildings. Taking this distance from

the dwellings to the rear (east of the site within Morris Avenue), this is exceeded at approximately 37m, when considering the relationship with the south, again around 31m is achieved. When considering the relationship with No. 25 Macdonald Road, the closest dwelling to the site, the separation distance to the side elevation is 14.2m, which exceeds the rear to side separation distance of 13m.

When considering the light impacts upon existing dwellings, in conjunction with the separation distances being exceeded the two storey building will sit lower than many of the surrounding dwellings and will not therefore appear dominant, the principle for a two storey building is also established within the site, albeit as a result of level changes, as such the proposal will not sit out of place or be considered to have a detrimental impact upon residential amenity of neighbouring occupiers.

In terms of future occupiers of the application site, the units as indicated will sit lower than neighbours, however given the location of the building and the presence of a landscaping scheme the impact upon future occupiers will not be deemed unacceptable, Urban Design also raise no objections to the proposals in this respect.

Public Open Space

Policy GE3 of the adopted Local Plan requires new development proposals to make provision for green infrastructure and public open space. In this instance the proposed development includes areas of on-site provision for amenity space. Previously concern was raised as to the level of provision proposed, however within this application there have, as previously been indicated significant improvements to the provision through the changes made.

Further to this, within the appeal submission a unilateral undertaking was submitted securing £21,992 towards the cost of park and open space upgrades in the vicinity of the site. With the reduction of units, this has been reduced (pro-rata) and as such the contribution based on the ten units is now £15,708.57, this has duly been agreed to by the applicants. Streetscene and Greenspaces raise no objections to the development, subject to this contribution being secured. The recommendation to committee is to approve the application, subject to the completion of the unilateral undertaking.

Drainage and Flood Risk

Paragraphs 163 and 167 of the NPPF requires Local Planning Authorities to have consideration to the increased flood risk and ensure that development proposals would not increase the likelihood of flooding either within the site or elsewhere, Policies EM4 of the adopted Local Plan are consistent with the NPPF in this respect. In this case the site lies within Flood Zone 1 and is therefore considered to be at low risk of flooding. Previously the application was refused due to the potential impact on flood risk which arose from the level of excavation and the associated indicative drainage design. However, a more comprehensive scheme has been designed, and whilst the full details are required prior to the commencement of development above slab level, it is considered this previous reason for refusal is addressed due to both the changes to the scheme and the additional information provided.

The inspector noted that during the course of the appeal drainage information was provided and they were of the view that the additional details could be conditioned. The LLFA have also been consulted on this re-submission and raise no objections to the proposed

development, the development, with the conditions attached accords with the aforementioned policies and the NPPF and is therefore acceptable.

Contaminated land

Policy EM6 seeks to ensure that redevelopment of previously developed land does not have a negative impact on water quality, either directly through pollution of surface or ground water or indirectly through the treatment of waste water by whatever means.

In this case there is evidence of fly-tipping within the site, and a likelihood that there is made ground. Given these likelihoods, Environmental Protection have requested that a Phase I Land Contamination Survey be undertaken to detail the characterisation of the site, and whether there is evidence of contamination. In the event that any land is contaminated the condition includes a requirement to remediate any contamination issues with details to be submitted and approved in writing by the Local Planning Authority.

Air quality

Policy EM7 requires new developments to seek to make improvements to air quality. Neighbours have raised objections to the proposed development due to the detrimental impact upon air quality. Environmental Protection have been consulted and raise no objections to the proposed development although have requested conditions to secure low emission boilers, and the details incorporated into the air quality assessment be included within the CEMP, this already forms part of the conditions attached to the decision.

The applicants have also sought to respond to air quality by incorporating cycle storage facilities for each unit. Whilst there will be an increase in movements to and from the site from the current situation, as the site is vacant, when comparing the movements proposed to the previous use it is likely that the units will not generate traffic or air quality issues which would require further mitigation from that proposed.

Ecology

The NPPF and Policy GE3 seek to ensure that development proposals will not have an adverse impact upon biodiversity. The application site is not a statutory or non-statutory wildlife site as identified in the adopted Local Plan or associated SPD's.

In this case the application site is not located within an area which has records of protected species. As the building has been vacant and demolition is proposed the applicants have completed an assessment of the site to include bat certification. From the information submitted there does not appear to be any evidence of roosts within the site. With regards biodiversity net gain, it is considered that the site as existing is of low ecological value and a landscaping plan, together with ecological enhancements would allow for a net gain of biodiversity within the site.

As submitted, the landscaping plans are indicative, as such full details of the hard and soft landscaping details, together with any ecological improvements have duly been secured via conditions appended to the end of this report. It should be noted that the Council's Ecologist has previously been consulted and raised no objections to the development on this site.

Sustainability

Policy EM2 of the adopted Local Plan seeks to ensure that development proposals incorporate means of sustainable construction, inclusive of any renewable energies proposed within the development. This is a requirement for all major planning applications.

The applicants have not submitted any details including sustainability measures, however as the development is no longer deemed to be a major development there is no policy requirement for this to be submitted, as such refusing the application on this basis would not be deemed necessary. It would also, in the view of the case officer, not be reasonable to condition such details as doing so would unlikely meet the six statutory tests for conditions set out within the PPG. Whilst the Sustainability Officer has objected this was during the period whereby the development proposed 12 units rather than the 10 the application has been amended to.

Developer Contributions

Policy IM1 ‘Developer Contributions for Infrastructure’ states that development will be expected to provide or contribute towards provision of: a) Measures to directly mitigate its impact and make it acceptable in planning terms; and b) Physical, social and green infrastructure to support the needs associated with the development.

The development would trigger the need for the following contributions to be secured under a Section 106 Legal Agreement. The heads of terms are as follows:

Consultee	Amount	Towards
Parks & Greenspaces	£15,708.57	For the enhancement of off-site play provision.
Total	Max. £15,708.57	

The developer has agreed to the requested contributions.

Equality Implications

Section 149 of the Equality Act 2010 created the public sector equality duty. Section 149 states:-

- (1) A public authority must, in the exercise of its functions, have due regard to the need to:
 - a) eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under this Act;
 - b) advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it;
 - c) foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

Officers have taken this into account and given due regard to this statutory duty, and the matters specified in Section 149 of the Equality Act 2010 in the determination of this application.

There are no known equality implications arising directly from this development.

Conclusion

The proposed development is considered to be acceptable in principle and will not result in any significant impact upon neighbour amenity, highway safety, ecology or infrastructure, subject to relevant conditions and contributions. The reason for Coventry City Council granting planning permission is because the development is in accordance with: Policies DS3, CO2, H1, H2, H3, H4, H6, H9, DE1, AC1, AC2, AC3, AC4, GE1, GE2, GE3, EM1, EM2, EM3 and EM7 of the Coventry Local Plan 2016, together with the aims of the NPPF.

CONDITIONS/REASONS

<p>1.</p>	<p>The development hereby permitted shall be carried out in accordance with the following approved plans: 001 Rev B, 002 Rev B, 003 Rev B, PL001 Rev C, PL006 Rev C</p>
<p>Reason</p>	<p><i>For the avoidance of doubt and in the interests of proper planning</i></p>
<p>2.</p>	<p>The development hereby permitted shall begin not later than 3 years from the date of this decision.</p>
<p>Reason</p>	<p><i>To conform with Section 91 of the Town and Country Planning Act 1990 (as amended)</i></p>
<p>3.</p>	<p>Prior to the first occupation of the development hereby permitted, details of both hard and soft landscaping works shall be submitted to and approved in writing by the Local Planning Authority. Details of hard landscaping works shall include boundary treatment, including full details of the proposed boundary walls, railings and gates to be erected, specifying the type of bricks and colour of the railings and gates; footpaths; and hard surfacing (which shall be made of porous materials or provision shall be made to direct run-off water from the hard surface to a permeable or porous area). The hard landscaping works shall be completed in strict accordance with the approved details within three months of the first occupation of the development hereby permitted; and all planting shall be carried out in accordance with the approved details within the first planting and seeding seasons following the first occupation. Any tree(s) or shrub(s) which within a period of five years from the completion of the development dies, is removed or becomes; in the opinion of the Local Planning Authority; seriously damaged, defective or diseased shall be replaced in the next planting season with another of similar size and species. All hedging, tree(s) and shrub(s) shall be planted in accordance with British Standard BS 8545:2014 Trees: from nursery to independence in the landscape - Recommendations and BS4428 - Code of Practice for General Landscape Operations.</p>
<p>Reason</p>	<p><i>To ensure a satisfactory standard of appearance of the development in the interests of the visual amenities of the area in accordance with Policies GE1 and DE1 of the Coventry Local Plan 2016.</i></p>

Notwithstanding the submitted details, prior to the commencement of the development above slab level of the development hereby permitted full details of the scheme shall be submitted to, and approved in writing by, the Local Planning Authority (LPA) for the provision of a Sustainable urban Drainage System (SuDS) in accordance with the latest available design guidance. The submission shall include all relevant details and calculations to enable a full evaluation to be undertaken, and clear and accountable consideration shall be given to the following features:

- General below ground attenuation, aimed solely at managing the quantity of water on site (Note: preference should be given to localised cellular storage unless there is no possible mechanism for doing so).

- Water quality control mediums such as permeable paving aimed at improving the quality of water passing through the system below ground. All in accordance with Coventry City Council's Supplementary Planning Document "Delivering a more Sustainable City".

ii. A detailed strategy document must be submitted to, and approved in writing by, the LPA for the long-term inspection and maintenance of the SuDS and other surface water drainage elements on site. It should also mention any notable Health and Safety or specialist training, and special equipment required as part of the routine maintenance.

4. iii. The stormwater discharge rates from the development shall be managed in order to reduce flood risk to surrounding sites, downstream areas or the wider environment by means of a flow control mechanism limiting the total site discharge offsite to 4.7 l/s

iv. Prior to the commencement of any works on site, provisions must be made for the drainage of the site to ensure there are no temporary increases in flood risk, on or off site, during the construction phase, particularly with respect to the planned demolition/construction works and the deposition of silts and cementitious materials. This should be covered under environmental risks in the Site-Specific CEMP.

v. The Demolition Management Plan should identify the risks to underground drainage and other buried services and should provide a management strategy to reduce damage and prevent blockage.

vi. Upon completion of demolition works, any remaining buried drainage in the vicinity of the site should be inspected by CCTV to ensure that the services have not been damaged and that the drains are not blocked.

vii. Provisions must be made for the drainage of the site to ensure there is no discharge of surface water to the Public Highway.

The drainage details shall be installed in full accordance with the approved documentation prior to occupation of the development and thereafter shall be maintained and shall not be removed or altered in any way

Reason	<i>To ensure that adequate drainage facilities are available for the satisfactory and proper development of the site in accordance with policies EM1, EM4 and EM5 of the Coventry Local Plan 2016 and Coventry City Council's adopted Supplementary Planning Document for Delivering a More Sustainable City.</i>
5.	No part of the residential accommodation hereby permitted shall be occupied unless and until the external amenity space has been laid out and provided in full accordance with the details shown on the approved plans and thereafter shall remain available for use at all times.
Reason	<i>In the interests of the amenities of the future occupants of the residential accommodation in accordance with Policy DE1 of the Coventry Local Plan 2016.</i>
6.	Prior to the first occupation of the development hereby permitted, details of bin storage areas shall be submitted to and approved in writing by the Local Planning Authority. The bin storage areas shall be provided in full accordance with the approved details prior to first occupation of the development and thereafter they shall remain available for use at all times and shall not be removed or altered in any way.
Reason	<i>In the interests of the amenities of future occupants of the residential accommodation and neighbouring occupiers in accordance with Policy DE1 of the Coventry Local Plan 2016.</i>
7.	No lighting or illumination of any part of any building or the site shall be installed or operated unless and until details of such measures have been submitted to and approved in writing by the Local Planning Authority and such works, and use of that lighting and/or illumination, shall be carried out and operated only in full accordance with those approved details.
Reason	<i>To safeguard the amenities of the adjoining occupiers of the development in accordance with Policy DE1 of the Coventry Local Plan 2016.</i>
8.	Prior to their incorporation into the development, details of: -window/ door frame colour and materials; -glazing details; -brick and mortar details; -cladding details including colour/finish and profile, fixing systems and joint details; -details of any rainwater goods; -details of any vents/grilles; -details of roof top safety rail systems; and -details of any plant enclosure or similar structures shall be submitted to and approved in writing by the Local Planning Authority. These details shall be installed only in full accordance with the approved details prior to the first occupation of the development and thereafter shall be retained and shall not be removed or altered in any way.
Reason	<i>To ensure that the proposed development has a satisfactory external appearance in the interests of the visual amenities of the area in accordance</i>

	<i>with Policy DE1 of the Coventry Local Plan 2016.</i>
9.	None of the dwellings hereby permitted shall be occupied unless and until the car parking provision for that dwelling has been constructed or laid out and made available for use by the occupants and / or visitors to the dwellings and thereafter those spaces shall be retained for parking purposes at all times and shall not be removed or altered in any way.
Reason	<i>To ensure the satisfactory provision of off-street vehicle parking facilities in accordance with the Council's standards and in the interests of highway safety and the satisfactory development of the site in accordance with Policies AC1, AC2 and AC3 of the Coventry Local Plan 2016.</i>
10.	Notwithstanding the details shown on the approved plans; prior to occupation of the development hereby permitted, details of cycle parking facilities shall be submitted to and approved in writing by the Local Planning Authority. The cycle parking facilities shall be provided in full accordance with the approved details prior to first occupation and thereafter those facilities shall remain available for use at all times and shall not be removed or altered in any way.
Reason	<i>In the interests of encouraging the use of alternative modes of transport with the aim of creating a more sustainable city in accordance with Policies DS3, AC3 and AC4 of the Coventry Local 2016.</i>
11.	No development (including any demolition) shall take place unless and until a Construction Management Plan (CMP) has been submitted to and approved in writing by the Local Planning Authority. The CMP shall include details of: - hours of work; - hours of deliveries to the site; - the parking of vehicles of site operatives and visitors during the demolition/construction phase; - a method statement detailing the works to be undertaken within 3m of the northern boundary (adjacent to No. 25 Macdonald Road) - the delivery access point; - the loading and unloading of plant and materials; - anticipated size and frequency of vehicles moving to/from the site; - the storage of plant and materials used in constructing the development; - the erection and maintenance of a security hoarding including decorative displays and facilities for public viewing where appropriate; - wheel washing facilities and other measures to ensure that any vehicle, plant or equipment leaving the application site does not carry mud or deposit other materials onto the public highway; - measures to control the emission of dust and dirt during demolition and construction; - measures to control the presence of asbestos; - measures to minimise noise disturbance to neighbouring properties during demolition and construction; - details of any piling together with details of how any associated vibration will be monitored and controlled; and - a scheme for recycling / disposing of waste resulting from demolition and construction works. Thereafter, the approved details within the CMP shall be strictly adhered to throughout the construction period and shall not be amended in any way.

Reason	<i>The agreement of a Construction Management Plan prior to the commencement of development is fundamental to ensure a satisfactory level of environmental protection; to minimise disturbance to local residents and in the interests of highway safety during the construction process in accordance with Policies EM7, AC1 and AC2 of the Coventry Local Plan 2016.</i>
12.	An investigation and risk assessment (in addition to any assessment provided with the planning application), must be completed in accordance with a scheme to assess the nature and extent of any contamination on the site; whether or not it originates on the site; and any report of the findings must be submitted to and approved in writing by the local planning authority prior to the commencement of development (including any demolition). The report of the findings, to be conducted in accordance with Environment Agency Guidance Land Contamination: Risk Management (2021) and must include (i) a survey of the extent, scale and nature of contamination; (ii) an assessment of the potential risk to; human health, property (existing or proposed) including buildings, crops, livestock, pets, woodland and service lines and pipes, adjoining land, groundwaters and surface waters, ecological systems, archaeological sites and ancient monuments; (iii) an appraisal of remedial options and proposal of the preferred option(s)
Reason	<i>To safeguard health, safety and the environment in accordance with Policy EM6 of the Coventry Local Plan 2016 and the aims and objectives of the NPPF</i>
13.	The development shall only be undertaken in accordance with a detailed remediation scheme to bring the site to a condition suitable for the intended use by removing unacceptable risks to human health, buildings and other property and the natural and historical environment, which shall be submitted to and approved in writing by the local planning authority. The scheme must include all works to be undertaken, proposed remediation objectives and remediation criteria, timetable of works and site management procedures. The scheme must ensure that the site will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation.
Reason	<i>To safeguard health, safety and the environment in accordance with Policy EM6 of the Coventry Local Plan 2016 and the aims and objectives of the NPPF</i>
14.	The approved remediation scheme must be carried out in accordance with its terms prior to the commencement of development other than that required to carry out the remediation. The Local Planning Authority must be given two weeks written notification of commencement of the remediation scheme works.
Reason	<i>To safeguard health, safety and the environment in accordance with Policy EM6 of the Coventry Local Plan 2016 and the aims and objectives of the</i>

	<i>NPPF</i>
15.	Prior to occupation of the development hereby permitted and following completion of the measures identified within the remediation scheme approved under condition No. 12, a verification report that demonstrates the effectiveness of the remediation carried out must be produced and submitted to the Local Planning Authority for approval in writing
Reason	<i>To safeguard health, safety and the environment in accordance with Policy EM6 of the Coventry Local Plan 2016 and the aims and objectives of the NPPF</i>
16.	In the event that contamination is found at any time when carrying out the approved development, that was not previously identified, it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken in accordance with the requirements of condition 13, and where remediation is necessary a remediation scheme must be prepared in accordance with the requirements of condition 14, which shall be submitted to and approved in writing by the Local Planning Authority. Following completion of measures identified in the approved remediation scheme a verification report must be prepared, which is subject to the approval in writing of the Local Planning Authority in accordance with condition 15.
Reason	<i>To safeguard health, safety and the environment in accordance with Policy EM6 of the Coventry Local Plan 2016 and the aims and objectives of the NPPF</i>
17.	Any gas boilers installed on site shall have a dry NOx emission rate of no more than 40mg/kWh. One electric vehicle recharging point per dwelling shall be provided prior to occupation and shall not be removed or altered in any way and shall be kept available for such use by residents at all times.
Reason	<i>To mitigate the impacts of development on air quality in accordance with Policy DS3 of the Coventry Local Plan 2016 and the aims and objectives of the NPPF.</i>
18.	Prior to the commencement of development, a method statement detailing the control of emissions into the air during the demolition/construction phase should be submitted to and approved in writing by the Local Planning Authority. The method statement should accord with the Best Practice Guidance - 'The control of dust and emissions from construction and demolition' and include:- a) proposed hours of work; b) map with nearest receptors and distances for dust and noise; c) noise impact on nearest neighbours and control measures as required; d) monitoring methods and measurement locations for dust and noise recording details; e) dust mitigation

	measures; f) contact details for responsible persons and site personnel training; and g) information provision and liaison with local residents. The development shall only proceed in full accordance with the approved details.
Reason	<i>To protect the amenity of the occupiers of neighbouring residential occupiers in accordance with Policy EM7 of the Coventry Local Plan 2016.</i>
19.	Prior to the commencement of the development, full details of the finished levels across the site shall be submitted to and approved in writing by the Local Planning Authority. The submitted details shall include cross sections through the site and detail any associated works to achieve the levels proposed. The development shall be carried out in strict accordance with these details.
Reason	<i>To ensure that the development responds appropriately to the site and does not give rise to amenity concerns, particularly in respect of the neighbouring dwellings including No. 25 Macdonald Road, in accordance with Policies H3, H5 and DE1 of the Coventry Local Plan 2016 and Paragraph 130 of the NPPF.</i>



NORTH



SCALE BAR 1:500



Preliminary Design Information Comment Planning Construction

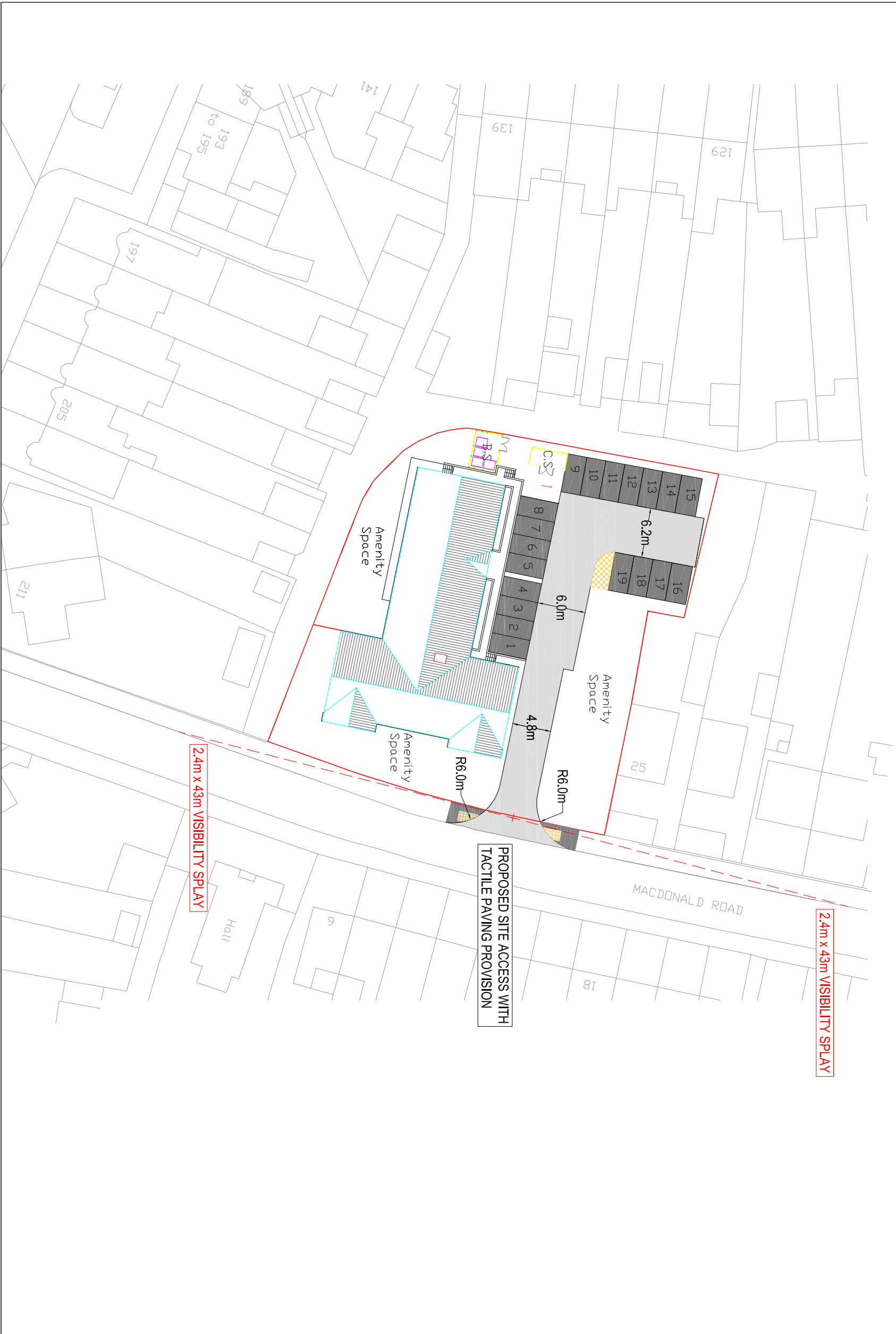


Client: Esprit Homes Construction	Job No: PBA04	Drawing No: PL001
Project: Macdonald Road	Date: 03.03.2023	Rev: C
Title: Site Plan	Scale: 1.500	Sheet Size: @ A2
Scale: 1.500	Sheet Size: @ A2	Drawn: TW
Scale: 1.500	Sheet Size: @ A2	Checked: MC

T: 0121 439 1151 A: Suite 3 Aspley House, 36 Hylton Street, Birmingham, B18 6HN
 E: admin@ophirarchitecture.com

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2. THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AND LEVELS ON SITE.



REV	DESCRIPTION	DATE	BY	AUTH
B	DRAWING UPDATED FOLLOWING CLIENT CHANGES	10.07.23	JP	GM
A	DRAWING UPDATED FOLLOWING CLIENT CHANGES	01.03.23	JP	GM

hub
TRANSPORT PLANNING LTD

Hub Transport Planning Ltd
Floor 1B
4 Temple Row
Birmingham
B2 5HG
T : 0121 454 5530

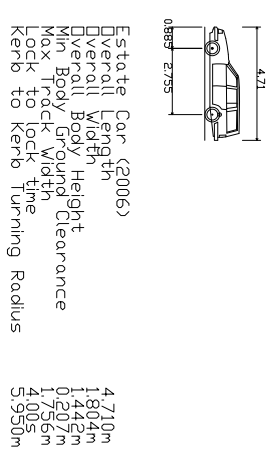
CLIENT
ESPRIT HOMES CONSTRUCTION LTD


PROJECT
**MACDONALD ROAD
COVENTRY**

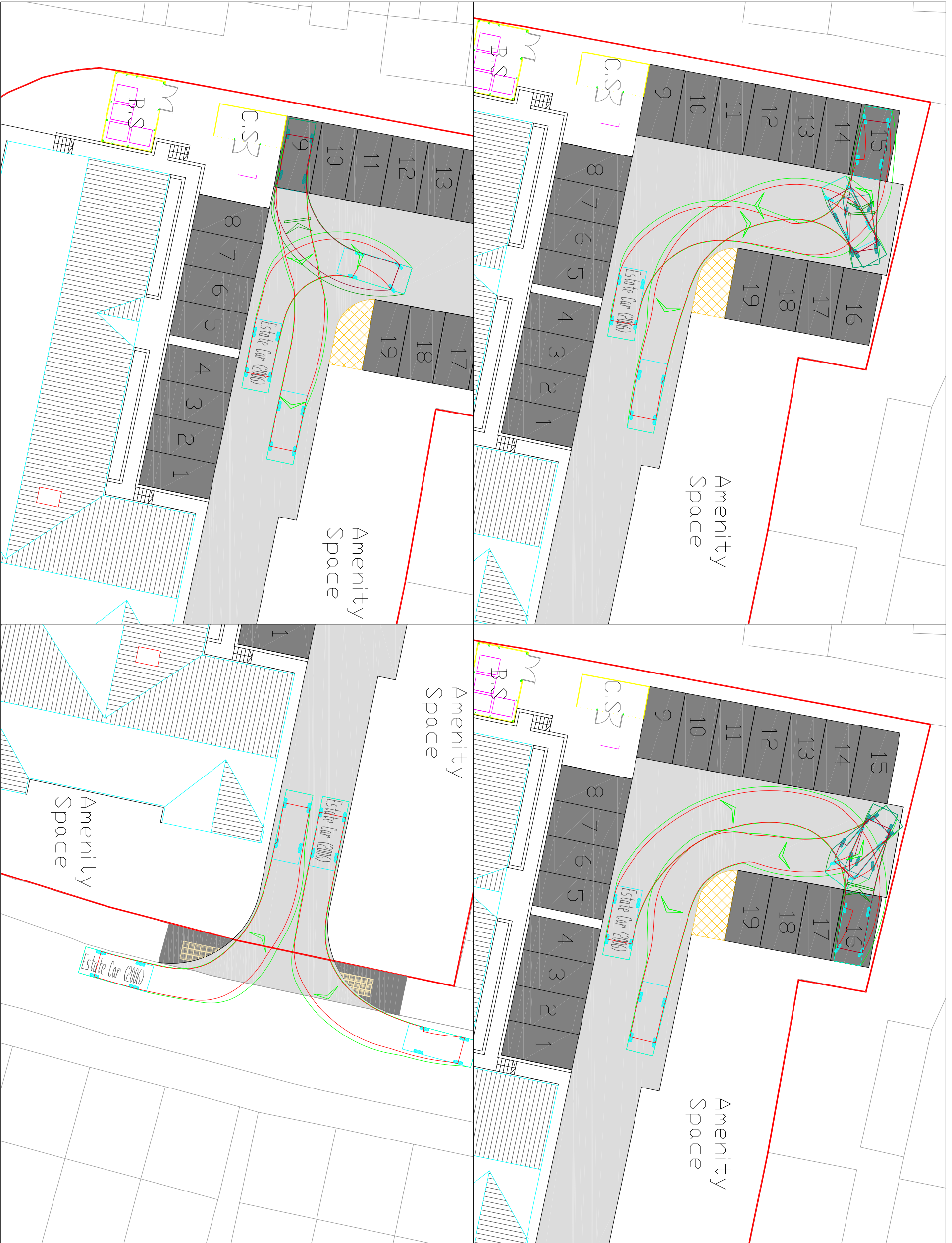
TITLE
**PROPOSED SITE ACCESS
AND SITE LAYOUT**

DRAWN	AUTHORISED	SCALE	SHEET SIZE	DATE
JP	GM	1:500	A3	18.05.22
PROJECT NO.	DRAWING NO.	REV		
T19625	001			

1. THIS DRAWING IS NOT TO BE SCALED FOR CONSTRUCTION PURPOSES.
2. THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AND LEVELS ON SITE.

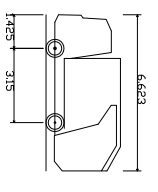


PROJECT MACDONALD ROAD COVENTRY		CLIENT ESPRIT HOMES CONSTRUCTION LTD	
TITLE PROPOSED SITE LAYOUT SWEEP PATH ANALYSIS 01		 Hub Transport Planning Ltd Floor 1B 4 Temple Row Birmingham B2 5HG T : 0121 454 5530	
DRAWN JP	AUTHORISED GM	SCALE 1:250	SHEET SIZE A3
PROJECT NO. T19625	DRAWING NO. 002	DATE 19.05.22	REV B
REV		DESCRIPTION	
B	DRAWING UPDATED FOLLOWING CLIENT CHANGES	10.07.23	JP GM
A	DRAWING UPDATED FOLLOWING CLIENT CHANGES	01.03.23	JP GM





1. THIS DRAWING IS NOT TO BE SCALED FOR CONSTRUCTION PURPOSES.
2. THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AND LEVELS ON SITE.



Small Refuse Vehicle
 Overall Length 6.623m
 Overall Width 3.153m
 Overall Height 2.500m
 Min Body Ground Clearance 0.358m
 Track Width 2.200m
 Lock to kerb time 4.0/5.0m
 Lock to kerb turning Radius 6.7/5.0m

REV	DESCRIPTION	DATE	BY	AUTH
B	DRAWING UPDATED FOLLOWING CLIENT CHANGES	10.07.23	JP	GM
A	DRAWING UPDATED FOLLOWING CLIENT CHANGES	01.03.23	JP	GM

hub
 TRANSPORT PLANNING LTD
 Hub Transport Planning Ltd
 Floor 1B
 4 Temple Row
 Birmingham
 B2 5HG
 T : 0121 454 5530

CLIENT
ESPRIT HOMES CONSTRUCTION LTD
 PROJECT
**MACDONALD ROAD
 COVENTRY**

TITLE
**PROPOSED SITE LAYOUT
 SWEPT PATH ANALYSIS 02**

DRAWN	AUTHORISED	SCALE	SHEET SIZE	DATE
JP	GM	1:500	A3	18.05.22
PROJECT NO.	DRAWING NO.	REV		
T19625	003			



SECTION A - A



SECTION B - B



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Planning Committee Report	
Planning Ref:	FUL/2022/2851
Proposal:	Erection of 2 no. detached bungalows with associated landscaping and parking, and erection of detached replacement garage following demolition of existing garages.
Ward:	Westwood
Proposed Number of Units:	Two
Case Officer:	Fiona Runacre

SUMMARY

This application seeks planning permission for the development of a brownfield site within a wholly residential area to provide two bungalows. Vehicle and pedestrian access to existing adjacent dwellings is to be retained.

KEY FACTS

Reason for report to committee:	Number of representations received
Current use of site:	Former garage site, hardstanding, parking and access
Proposed use of site:	Residential
Proposed no. of units:	Two
Housing mix/tenure:	1 No. 1 bedroomed and 1 No. 2 bedroomed affordable (Development by Citizen Housing)
Parking Provision:	Two spaces per unit
Amenity space:	Private gardens

RECOMMENDATION

Planning committee is recommended to grant planning permission subject to conditions.

REASON FOR DECISION

- The proposal is acceptable in principle and will deliver additional affordable housing stock.
- Development will be compatible with the residential character of the area and contribute positively to the street scene.
- The proposal will not adversely impact upon highway safety.
- The proposal will not adversely impact upon the amenity of neighbours.
- The proposal will deliver biodiversity net gain.
- The proposal accords with relevant development plan policies and Supplementary Planning Documents together with the aims of the National Planning Policy Framework to deliver housing in a sustainable location, make use of previously developed land and secure high-quality design.

SITE DESCRIPTION

The roughly rectangular shaped backland site is in a wholly residential area. The site is bounded to the east by the rear gardens of two storey properties fronting Freeburn

Causeway. To the north, south and west are two storey properties in Thimbler Road, whose side boundaries adjoin the site.

The site is made up of two parts and is divided by palisade fencing. The south part of the site is accessed via an existing access between nos 41 & 43 Thimbler Road. The site is gated and locked and the garages along the west boundary are without roofs and front elevations with only rear and side walls and floor in situ. There is a garage (attached to another on the south part of the site) along the west boundary. A close boarded fence extends along the length of the north boundary with no. 43.

The access is currently gated and locked with key access to the residents who have accesses to the rear of their properties and garages. It does not provide any convenience or dedicated parking.

Most of the site is laid to hard standing with a mix of concrete slab and tarmac which is in a poor state of repair with small areas of scattered scrub and introduced shrubs.

There is one tree adjacent to the east boundary of the site, and one adjacent to the north eastern corner of the site the RPAs of which falls within part of the site.

PROPOSAL DESCRIPTION

The application proposes 2 dwellings. With the exception of the two garages at the northern end of the site, the garages on the north part of the site and the carcasses on the south part of the site are to be demolished. One of the garages is in private ownership and will be replaced on the west side of the site adjacent to plot 2 having an eaves height of 1.9 m and a ridge height of 3 m.

Two parking spaces would be provided for plot 1 and one space for plot 2 together with turning space. The existing gates would be removed. No changes are proposed to the access. Properties with gated pedestrian accesses to the site are shown to be retained as are accesses to the garages within the rear garden of adjacent properties.

Provision for waste storage bins is to be provided in the rear garden. In this case, no collection point is proposed.

A small shed would be provided in the rear gardens for storage and space to store a bicycle. The rear garden would be laid to lawn and the access resurfaced/repaired.

The dwellings would be constructed using Modern Methods of Construction (MMC).

Amended plans

During the course of the application amended plans showing a reduction in size of the dwelling units from two storey dwellings to bungalows were received, including a site plan showing tree root protection areas (RPA's). Plot 1 would provide a 2-bed bungalow and plot 2 a 1-bed bungalow. The application was revalidated on receipt of these details.

PLANNING HISTORY

There is no relevant planning history.

POLICY

National policy

National Planning Policy Framework (NPPF)
National Planning Practice Guidance (NPPG)
National Design Guide (NDG)

Tilted Balance

The National Planning Policy Framework, paragraph 11, states that “Plans and decisions should apply a presumption in favour of sustainable development. For Decision Making, this means:-

c) approving development proposals that accord with an up-to-date development plan without delay; or

d) where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date, granting permission unless: i. the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or ii. any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole.” Footnote 8 to paragraph 11 confirms that this includes situations where the local authority cannot demonstrate a five-year supply of deliverable housing sites.

The Coventry Local Plan was formally adopted on 6th December 2017. Since it was adopted, the Government introduced the Standard Method, a standardised way of calculating minimum housing need. As the Local Plan is now more than five years old the Standard Method is now the determining factor when considering local housing need. When using the Standard Method the Council is not able to demonstrate a five-year housing land supply. As such, the tilted balance is engaged and therefore planning permission should be granted, unless “any adverse impacts of doing so would significantly and demonstrably outweigh the benefits” when assessed against the policies of the NPPF taken as a whole.

This report assesses all aspects of the proposal against the policies in the NPPF, and the development plan policies above will inform the balancing exercise in which “adverse impacts” and “benefits” are fully weighed and considered at the end of this report.

Development Plan Policies

As required by Section 38(6) of the Planning and Compulsory Purchase Act 2004, the proposed development must be determined in accordance with the Development Plan unless material considerations indicate otherwise.

The Statutory Development Plan for the area relevant to this application site comprises of the Coventry City Council Local Plan 2016. Relevant policies are listed below:

DE1: Ensuring High Quality of Design
EM1: Planning for Climate Change Adaptation
EM2: Building Standards

EM5: Sustainable Drainage Systems (SuDS)
 EM6: Redevelopment of Previously Developed Land
 EM7: Air Quality
 EM8: Waste Management
 AC1: Accessible Transport Network
 AC2: Road Network
 AC3: Demand Management
 AC4: Walking and Cycling
 DS1: Overall Development Needs
 DS3: Sustainable development
 H1: Housing Land requirements
 H3: Provision of New Housing
 H4: Securing a Mix of Housing
 H9: Residential Density
 GE1: Green Infrastructure
 GE2: Green Space
 GE3; Biodiversity, Geological, Landscape and Archaeological Conservation
 GE4: Tree Protection
 HE2: Conservation and Heritage Assets

Supplementary Planning Guidance/ Documents (SPG/ SPD):

SPD New Residential Development Design Guide (2022)
 SPD Coventry Connected –
 - Appendix 5-car park and cycle parking standards
 SPD Air Quality (2019)
 SPD Trees and Developer Guidance October (2020)
 SPD Energy (2022)
 SPD Biodiversity Net Gain (2022)

CONSULTATION RESPONSES

• Highways (CCC)	(20/7/2023) No objection subject to conditions
• Environmental Protection (CCC)	(24/10/2022) No objection subject to conditions
• Ecology (WCC)	(16/11/2022) No objection subject to conditions
• Housing Policy (CCC)	(21/04/2023) No objection
• Sustainability (CCC)	20/10/2022) No objection subject to conditions
• Waste (CCC)	(11/05/2023) No objection
• Lead Local Flood Authority (CCC)	(28/10/2022) No objection subject to conditions
• Tree Officer (CCC)	(20/6/2023) No objection subject to conditions
• Archaeology	(7/11/2022) No objection
• Severn Trent	No response received
• Cadent	Informative

<ul style="list-style-type: none"> West Midlands Fire Service 	(4/11/2022) comments
<ul style="list-style-type: none"> Urban Design (CCC) 	No objection (25/4//2023)

PUBLIC RESPONSES

- Neighbour notification was sent in accordance with the Communications Record. Residents were notified of the application ordinarily submitted and the amended plans on 5/4/2023.
- A site notice was displayed on 15/11/2022 and on 3/4/2023 on receipt of amended plans.
- 11 representations raising objections for the following reasons have been received:
 - Change of use of site of no benefit to the community
 - Lack of transparency regarding claim to 'social housing
 - Lack of community engagement and consultation
 - Height and design of dwellings
 - Loss of privacy
 - Loss of daylight and sunlight
 - Light and noise pollution
 - Loss of outlook /feeling enclosed
 - Harm to health as result of proximity of dwellings
 - Disturbance during development – noise and determinant to health and well-being
 - Destruction/damage to property and planting in adjacent property gardens as a result of construction.

The Local MP Zara Sultana is aware of the proposal having been contacted by a local constituent who has submitted a representation.

ISSUES AND APPRAISAL

Key issues:

- The principle of development
- Design and visual
- Residential amenity
- Highways and access
- Ecology and biodiversity
- Air quality and ground conditions
- Equality considerations
- Planning balance and summary

Principle of development

Paragraph 69 of the NPPF supports small sized sites for residential development, recognising the contribution that suitable windfall sites can make to the housing requirement within existing settlements.

Paragraph 120 (c) of the NPPF requires that substantial weight is given to the value of using suitable brownfield sites within settlements for homes and other identified needs, and part (d) promotes and supports the development of under-utilised land and buildings. The principles adopted in the development plan promote the utilisation of accessible brownfield sites.

Policy H3 of the Local Plan sets out locational considerations for unallocated sites to ensure that the site is situated within a sustainable location and will create an appropriate and acceptable residential environment. The transport technical note details the location in relation to services and accessibility by modes of transport other than the private car. The dwellings will help meet the shortfall of social housing units within the City and the site is within a sustainable location.

The D & A statement states that *“development consists of entirely affordable homes that are much needed within the local area. Citizen Housing, is helping to provide dwellings throughout the city in response the Coventry’s growing population and additional need for affordable housing”*.

Third party comments raise a number of questions over the end tenure, occupant selection and the definition of affordable housing. As above the dwellings are to be provided by Citizen housing who are a social housing provider and their occupant selection process is not a matter for consideration as part of the planning application.

The site does not provide for informal parking as it has been gated and locked with access solely for previous garages lessees and adjoining residents with pedestrian access to their properties. The garages are not of any architectural or historical merit.

Policy H9 identifies that a minimum of 35 dwellings per hectare (dph) should be provided on previously developed land and the proposed density is 16 dph such that the development would not represent an overdevelopment of the site. Whilst this is below the minimum policy requirement, the site is constrained due its backland siting and the density is appropriate to its setting.

Whilst in isolation, the dwellings will make a small contribution to housing delivery, it is acknowledged that in aggregate the small schemes together may make a moderate contribution to the housing stock. However, on smaller infill sites matters of detail can be more acute such that any harm may be afforded more weight as discussed further below.

The use of the site for housing is supported in principle, being previously developed land delivering affordable housing within a sustainable location in accordance with the objectives of the NPPF and policies DS3, H3 and H9 of the local plan. These factors combined would represent a moderate benefit.

Design and visual issues

Paragraph 130 of the NPPF seeks to ensure that developments are visually attractive as a result of good architecture, layout and appropriate and effective landscaping; are sympathetic to local character and history, including the surrounding built environment and landscape setting; and establish or maintain a strong sense of place, using the

arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit.

The Coventry Urban Design Guidance identifies the importance of ensuring that the scale, massing and height of new development respects adjacent buildings. Policy DE1 of the local plan requires development to respect and enhance their surroundings. The Residential Design Guide SPD highlights that to maintain the character and visual amenity of an area that new development should fit in to the existing context regarding the predominant dwelling type and the scale, mass and proportions.

The SPD expects new residential development to respond to the size, shape and rhythm of surrounding plot layouts. However, with the benefit of street scenes and levels provided it was evident that the proposed eaves and ridge height would be markedly different to that of the adjacent two storey dwellings such that dwellings of a lesser scale and height would be more suitable. Amended plans showing bungalows have been received.

The provision of bungalows on the site, whilst not characteristic of the scale of two storey-built development in the immediate area would be subservient to the two-storey massing around it. Due to the nature of the site, being more characteristic of a backland than a frontage infill site, the single storey scale is appropriate and necessary to respect the residential amenity of adjacent residents and would not detract from the streetscene.

Access will be retained as existing and improvements to be confirmed through a landscaping condition will secure suitable finishes to the surfaces, as well as boundary treatments, and works to levels.

Having historically been in use as garage sites, the vehicle activity associated with the proposed use would not introduce uncharacteristic vehicle movements. Garage sites also generally do not include other land such as gardens such that the area becomes more urban, as the sites comprise previously developed land.

1.8 m high close boarded fencing with timber is proposed to enclose the gardens of the bungalows to provide privacy. Until the garages are demolished, and the state of the existing fence has been assessed, Citizen has advised that details of the boundary treatment cannot be concluded. It is therefore appropriate for this to be specifically addressed in the landscaping condition.

The rendered finish with clad panel and concrete roof tile, would be compatible with the materiality in the area (subject to final details). Details of the surface finish of the private drive and hard surfaced areas can also be conditioned.

The proposal would accord with the design objectives of part 12 of the NPPF and policies DS3 and DE1 of the Local Plan, and the Councils Residential Design Guide SPD and the benefits arising from the development on this site would represent a moderate beneficial impact.

Residential amenity

Paragraph 130 of the NPPF seeks to ensure that development creates places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users. This is echoed in the Residential SPD that expects new residential developments to provide future occupants with high quality amenities and that do not undermine the amenities of existing neighbouring residents.

The Residential Design Guidance SPD (2022) sets out the minimum windows to window distances of 20 m. These distances will be met and due to the single storey nature of the development boundary fences / walls would restrict any overlooking of neighbouring properties/ amenity space. Although separation distance and relationships with existing properties is acceptable, any material impact on residential amenity would more likely arise from the existing dwellings having an impact on the occupants of the proposed bungalows. This would deliver a good standard of residential amenity and there would be no loss of privacy through overlooking, overshadowing or the creation of a sense of enclosure to existing adjacent residents.

Concerns have been raised by third parties in relation to damage to adjacent property (sheds, walls, fencing and planting, foundations close to the boundary) during demolition and construction, and noise and disturbance. The grant of planning permission does not override the need to comply with other legislation under Building Regulations, the Party Wall etc Act 1996 and Environmental Protection Act 1990. Any disturbance during construction would be temporary and the MMC construction proposed would result in a reduced construction period compared to a traditional build as the dwellings are constructed off site in a factory and then delivered to the site. Notwithstanding this, a construction management plan would be conditioned to secure construction times, parking for construction workers etc to protect residential amenity during construction.

The depth of the rear gardens is between 8 and 11 m and each plot would have a usable amenity area of c. 92 sq m (plot 2) and c. 165 sq m (Plot 1) 5.5 m with an area of c. 80 m useable garden space provided. This would exceed the 65 sq m SPD requirement and would provide for a good standard of amenity to future occupants due to the distance from adjoining properties such that there would be no harm arising from overshadowing or loss of privacy.

The proposal respects the residential amenities of existing residents and would deliver high quality design in respect of space and the standard of accommodation for those of the future occupants of the new dwellings.

There would be no conflict with policy DE1 of the Local Plan, part 12 of the NPPF and adopted residential design SPD. The benefits arising from the development on this site would represent a moderate beneficial impact.

Highways issues

The NPPF expects the highways impacts to be considered as part of any proposal and is explicit that development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety.

Policy AC3 of the Local Plan acknowledges that the provision of car parking can influence occurrences of inappropriate on-street parking which can block access routes for emergency, refuse and delivery vehicles, block footways preventing access for pedestrians, reduce visibility at junctions and impact negatively on the street scene. Proposals for the provision of car parking associated with new development are assessed on the basis of parking standards set out in Coventry Connected SPD. The car parking standards also include requirements for the provision of electric car charging and cycle parking infrastructure.

The proposal would provide for 2 car parking spaces to serve plot 1 and 1 space for plot 2. A small shed would be provided in the rear garden to provide for the storage of bicycles. This would accord with the SPD parking requirements.

The initial objection raised by the Local Highways Authority due to concerns with the space available for vehicles to manoeuvre into / out of the car parking space for Plot 2 and the relocated private garage adjacent to Plot 2 has now been addressed.

Swept Path Assessment (Large Car) illustrates that a large car will be able to safely manoeuvre into / out of the proposed car parking space allocated to Plot 2 and the relocated private garage. The Highway Authority is therefore satisfied that the concerns previously raised have been addressed. Adequate car parking and turning areas are proposed within the site to serve the development. It is unlikely that the development will generate a significant increase in vehicle trips compared to the existing garage block to have a severe impact on public highway safety.

Conditions to secure a construction management plan, access, manoeuvring and parking layout to be provided prior to first occupation and cycle parking details can be appropriately conditioned.

West Midlands Fire Service has commented that the distance to the dwellings may be greater than 45 m due to parking within the turning head. This is noted and whilst sprinkler systems or other means of suppression are required where 45 m distance to access points from the highway cannot be achieved, this is not considered to an appropriate matter for a condition as the bungalows would be within 45 m of the adopted highway. Access will need to be afforded to the dwellings once occupied and any parking currently taking place in the turning head that may block access is a separate matter outside of the planning remit.

The proposal would accord with Policies AC1, AC2, AC3, AC4, DE1 and H3 of the Coventry Local Plan 2016, Residential Guidance SPD, Coventry Connected SPD, and the aims and objectives of the National Planning Policy Framework such that the access, layout and parking provision would not be detrimental to highway safety and sufficient onsite vehicle and cycle parking can be provided. There would be a neutral impact in respect of highways matters.

Ecology and biodiversity

The NPPF expects decisions to contribute to and enhance the natural and local environment by minimising impacts on and providing net gains for biodiversity. (Paragraph 174). Policy GE3 of the local plan and the Biodiversity SPD echoes this providing a gauge for this to be assessed.

The application includes a Preliminary Ecological Assessment (Martin Ecology, September 2022). A biodiversity net gain of 0.02 would be delivered. Conditions to secure appropriate planting, and the installation of two swift bricks and four bee bricks, hedgehog friendly fencing and the removal of permitted development rights for new hard surfaces would be appropriate.

The request from the Council's Ecologist for an additional tree in plot 2 to guarantee an overall increase in biodiversity of the site would not be reasonable. The proposal delivers a net gain and, in this case, due to the proximity of the existing trees, additional trees may result in significant shading such that pressure to remove trees may arise.

There would be no conflict with the NPPF and policy GE4 of the Local Plan and the Biodiversity SPD, and the development would result in moderate benefits in respect of biodiversity net gain.

Trees

The NPPF highlights that trees make an important contribution to the character and quality of urban environments and can also help to mitigate and adapt to climate change and seeks to retain existing trees where possible. The Trees and development SPD states that "*Preference should be given to retaining A and B category trees*". Policy GE4 of the Local Plan supports development proposals where trees not to be retained as a result of development are replaced with new trees as part of a well-designed landscape scheme.

The tree officer has commented that there are offsite sycamore trees identified in the tree survey growing in proximity to the proposed structures. In this case, it is not possible to determine definitively the arboricultural impacts now or future. They note that the sycamore trees are potentially very large and that T2 in particular could be dominating to the new gardens. These comments in respect of amenity are noted. However, the existing trees will have a positive benefit providing for a level of natural screening in the interests of the residential amenities of the future occupants. Soft landscaping details should be conditioned.

Whilst the footprint of the dwellings is shown to fall outside of the RPA's, works of repair/resurfacing of access (details of which are to be conditioned) would fall within the RPA's. The Council's Tree officer has raised no objection to the proposal subject to a condition to secure a Dimensioned Tree Protection Plan (DTPP), which will need to show distances from the tree protection barriers, plus details of the ground protection measures in order to protect parts of the RPA's where the vertical barriers are not appropriate to be erected.

Due to the siting and orientation to the proposed dwellings an acceptable level of residential amenity would be afforded to the future occupant(s) and it is not considered that there would be future pressure to remove trees due to overshadowing / detritus issues.

There would be no conflict with policies GE1, GE3 and GE4 of the Local Plan or part 13 and para 131 of the NPPF subject to conditions. The impact on trees would be neutral.

Air Quality and Ground conditions

Air Quality

With the city being declared an Air Quality Management Area since 2009 for nitrogen dioxide, primarily as a result of traffic related emissions, and the more recent Ministerial Direction that requires the city council to implement a package of measures to reduce nitrogen dioxide emissions to legal levels within the 'shortest possible time'. Policy AC1 of the Local Plan and Coventry Connected SPD requires the infrastructure for electric vehicles to be installed through planning condition; in this case one space per dwelling. The policies reflect paragraph 181 of the NPPF. This can be secured through a condition requiring electric vehicle charging points to be provided.

A CEMP has been requested in respect of vehicular emission and dust and dirt mitigation. This has been included as part of the CMP.

Ground Conditions

Policy EM6 seeks to ensure that redevelopment of previously developed land does not have a negative impact on water quality, either directly through pollution of surface or ground water or indirectly through the treatment of waste water by whatever means. Environmental Protection raise no objection subject to conditions in relation to contaminated land. This would include intrusive works referred to in the representations received and which are suitable matters to be conditioned.

The proposal would accord with Policies AC1 and EM7 of the Local Plan, Coventry Connected SPD, Air Quality SPD and the objectives of the NPPF. Any impact arising would be neutral.

Other Considerations

Energy and sustainable construction

Sustainable design and climate change adaptations are set out in the submitted Sustainability Statement (Rev A) in accordance with the Energy SPD. The dwellings are to be constructed off site using Modern Methods of Construction (MMC) – SIP's panels or modular units in factories based in the West Midlands region with several preferred suppliers with Coventry. The proposal would accord with part 14 of the NPPF Planning for climate change and with policy EM2 of the Local Plan and the Energy SPD.

Drainage

The application form indicates that foul water drainage is proposed to the mains sewer with details to be confirmed. Full details of surface water drainage have not been provided. The Lead Local Flood Authority has raised no objection to the proposal and recommend that any opportunity to further reduce storm runoff is considered as part of

the development. Options include: The use of permeable paving on drives and parking areas and the use of rainwater harvesting, either as a dedicated tank connected to the non-potable water system or as water butts.

The Sustainability Statement submitted identifies that rainwater harvesting is to be incorporated. A condition to secure details of foul and surface water drainage, including a demolition plan to identify risks to underground buried drainage and a management strategy is requested by the Lead Local Flood Authority. It is expected that details of drainage accords with the Sustainability Statement to ensure that principles of sustainable drainage systems proportionate to the scheme are secured in accordance with policies EM1 and EM4.

Heritage

No objection has been raised in respect of archaeology .

Pre-commencement conditions

Pre-commencement conditions have been agreed with the applicant's agent.

Equality Implications

Section 149 of the Equality Act 2010 created the public sector equality duty. Section 149 states:-

(1) A public authority must, in the exercise of its functions, have due regard to the need to:

- a) eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under this Act;
- b) advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it;
- c) foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

Officers have taken this into account and given due regard to this statutory duty, and the matters specified in Section 149 of the Equality Act 2010 in the determination of this application.

There are no known equality implications arising directly from this development.

Planning Balance and Summary

Having assessed the proposal fully, the following table shows the adverse impacts and benefits detailed above and attributes a substantial, moderate, limited or neutral score.

Key issue	Summary	Adverse (-) Benefit (+)
------------------	----------------	------------------------------------

Redevelopment of PDL for affordable housing provision	Re-use of PDL in sustainable location 1 no. 2B3P & 1 no. 1B2P affordable dwelling	Moderate +
Biodiversity Net gain	BNG of 0.03/0.02 units delivered.	Moderate +
Design & Street scene	Removal of garages in poor state of repair Overgrown site tidied up Single storey bungalows	Moderate +
Residential amenity	Single storey scale adjacent two storey	Neutral
Trees	Trees protected during construction	Neutral
Parking	Existing garages vacated and site secured Off street parking provided for new dwellings	Neutral

The development would result in the delivery of housing by a registered provider that would contribute to the housing supply and affordable provision on previously developed land in a sustainable location which is supported in principle. On matters of detail due to the specific locational and design characteristics, as amended, the proposal would deliver good design that respects the character and pattern of development in the area in accordance with development plan policies, the Residential Guidance SPD and part 12 of the NPPF.

Due to the lack of a five-year housing land supply, the 'tilted balance' is engaged, whereby in applying the presumption in favour of sustainable development even greater weight should be accorded in the overall planning balance to the provision of new housing. As summarised in the above table, there would be identifiable benefits from this small level of housing provision, these would be moderate in scale. There are no identifiable adverse impacts that would significantly and demonstrably outweigh its benefits. Therefore, planning permission should be granted.

The proposal is considered to provide an acceptable form of development and will not result in any significant harm upon neighbour amenity, highway safety, or ecology, subject to relevant conditions. It is therefore considered that the proposed development accords with development policies DE1, DS3, H3, H9, AC2, AC3, EM4, EM5, GE3 and GE4 of the Coventry Local Plan 2016, together with the aims of the NPPF.

CONDITIONS/REASONS

1.	The development hereby permitted shall begin not later than 3 years from the date of this decision.
Reason	<i>To conform with Section 91 of the Town and Country Planning Act 1990 (as amended)</i>
2.	The development hereby permitted shall be carried out in accordance with the following approved plans:

	<p>455 Rev H Proposed Site Layout 456 Rev B Site Location Plan 457 Rev B Existing Site Plan 458 Rev C External Works and Boundary Treatments 459 Rev C Existing and Proposed Garages Plan 1105 Shed 1.2 Plan and Elevations 1322 Relocated Garage 1323 House type 1 1324 House type 2 2105 Existing Elevation 1 2106 Rev C Proposed Elevation 1 2107 Existing Elevation 2 2108 Rev C Proposed Elevation 2 Batch 2 Tree Constraints Covering Report BS 5837 and AIA Tree Constraints Plan dwg No. 455 Phase 1 Geo-Environmental Report reference : DE.196.22 dated 21/08/2022 F22113 Thimbler Road - Highway Impact Statement (Revision A) September 2022 Letter dated 16 June 2023 Bancroft Consulting Swept Path drawing No. F22113/02 Rev C Topographical survey J1628 B Preliminary Ecological and Biodiversity Impact Assessment dated 14th September 2022 Sustainability Statement Rev A Design and Access Statement Rev B Services records</p>
Reason	<i>For the avoidance of doubt and in the interests of proper planning</i>
3.	<p>No development (including any demolition) shall take place unless and until a Construction Management Plan (CMP) has been submitted to and approved in writing by the Local Planning Authority. The CMP shall include details of:</p> <ul style="list-style-type: none"> - hours of work; - hours of deliveries to the site; - the parking of vehicles of site operatives and visitors during the demolition/construction phase; - the delivery access point; - the loading and unloading of plant and materials; - anticipated size and frequency of vehicles moving to/from the site; - the storage of plant and materials used in constructing the development; - the erection and maintenance of a security hoarding including decorative displays and facilities for public viewing where appropriate;

	<p>- wheel washing facilities and other measures to ensure that any vehicle, plant or equipment leaving the application site does not carry mud or deposit other materials onto the public highway;</p> <p>- measures to control the emission of dust and dirt and minimise noise disturbance to neighbouring properties during demolition and construction (referring to good practice guidance such as BS5228 and the Mayor of London Guidance 'Controlling Dust and Emissions During Construction and Demolition');</p> <p>-an asbestos survey including measures to control the presence of asbestos; and</p> <p>- a scheme for recycling / disposing of waste resulting from demolition and construction works.</p> <p>Thereafter, the approved details within the CMP shall be strictly adhered to throughout the construction period and shall not be amended in any way.</p>
Reason	<p><i>The agreement of a Construction Management Plan prior to the commencement of development is fundamental to ensure a satisfactory level of environmental protection; to minimise disturbance to local residents and in the interests of highway safety during the construction process in accordance with Policies H3, EM2, EM6, EM7, DS3, AC1 and AC2 of the Coventry Local Plan 2016.</i></p>
4.	<p>An investigation and risk assessment (in addition to any assessment provided with the planning application), must be completed in accordance with a scheme to assess the nature and extent of any contamination on the site; whether or not it originates on the site; and any report of the findings must be submitted to and approved in writing by the local planning authority prior to the commencement of development (including any demolition). The report of the findings, to be conducted in accordance with Environment Agency Guidance Land Contamination: Risk Management (2021) and must include (i) a survey of the extent, scale and nature of contamination; (ii) an assessment of the potential risk to; human health, property (existing or proposed) including buildings, crops, livestock, pets, woodland and service lines and pipes, adjoining land, groundwaters and surface waters, ecological systems, archaeological sites and ancient monuments; (iii) an appraisal of remedial options and proposal of the preferred option(s)</p>
Reason	<p><i>To safeguard health, safety and the environment in accordance with Policy EM6 of the Coventry Local Plan 2016 and the aims and objectives of the NPPF 2021.</i></p>
5.	<p>The development shall only be undertaken in accordance with a detailed remediation scheme to bring the site to a condition suitable for the intended use by removing unacceptable risks to human health, buildings and other property and the natural and historical environment, which shall be submitted to and approved in writing by the local planning authority. The scheme must include all works to be undertaken, proposed remediation objectives and remediation</p>

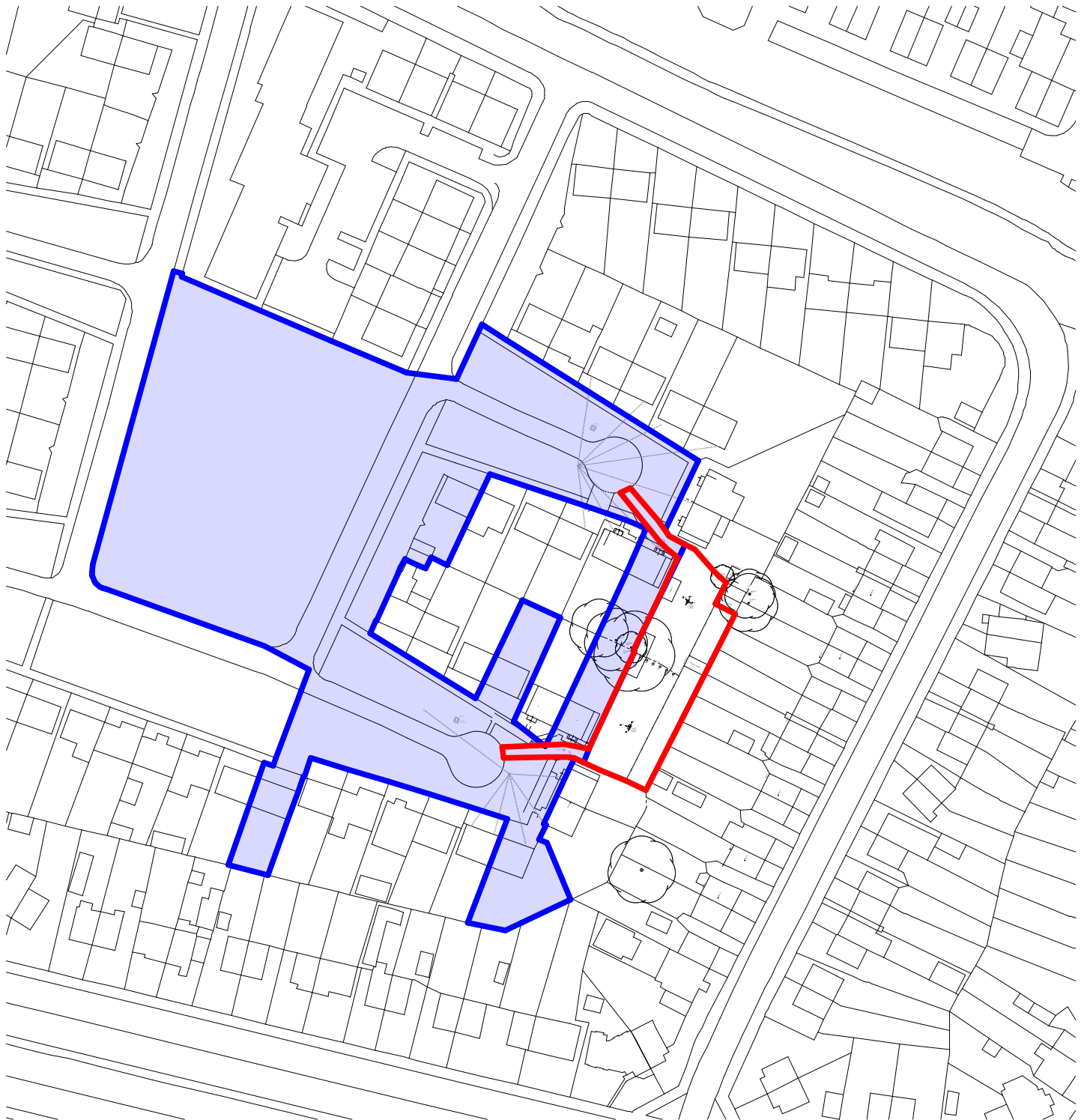
	criteria, timetable of works and site management procedures. The scheme must ensure that the site will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation.
Reason	<i>To safeguard health, safety and the environment in accordance with Policy EM6 of the Coventry Local Plan 2016 and the aims and objectives of the NPPF 2021.</i>
6.	The approved remediation scheme must be carried out in accordance with its terms prior to the commencement of development other than that required to carry out the remediation. The Local Planning Authority must be given two weeks written notification of commencement of the remediation scheme works.
Reason	<i>To safeguard health, safety and the environment in accordance with Policy EM6 of the Coventry Local Plan 2016 and the aims and objectives of the NPPF 2021.</i>
7.	Prior to occupation of the development hereby permitted and following completion of the measures identified within the remediation scheme approved under condition No. 6, a verification report that demonstrates the effectiveness of the remediation carried out must be produced and submitted to the Local Planning Authority for approval in writing
Reason	<i>To safeguard health, safety and the environment in accordance with Policy EM6 of the Coventry Local Plan 2016 and the aims and objectives of the NPPF</i>
8.	In the event that contamination is found at any time when carrying out the approved development, that was not previously identified, it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken in accordance with the requirements of condition NO. 4, and where remediation is necessary a remediation scheme must be prepared in accordance with the requirements of condition NO. 5 which shall be submitted to and approved in writing by the Local Planning Authority. Following completion of measures identified in the approved remediation scheme a verification report must be prepared, which is subject to the approval in writing of the Local Planning Authority in accordance with condition NO.7.
Reason	<i>To safeguard health, safety and the environment in accordance with Policy EM6 of the Coventry Local Plan 2016 and the aims and objectives of the NPPF</i>
9.	Prior to their incorporation into the development hereby permitted, sample details of the facing and roofing materials shall be submitted to and approved in writing by the Local Planning Authority. These details shall be installed only in full accordance with the approved details prior to the first occupation of the development and thereafter shall be retained and shall not be removed or altered in any way.

Reason	<i>To ensure that the proposed development has a satisfactory external appearance in the interests of the visual amenities of the area in accordance with Policy DE1 of the Coventry Local Plan 2016.</i>
10.	Prior to their incorporation into the development hereby permitted, a drainage scheme detailing proposed foul and surface water disposal shall be submitted to and approved in writing by the LPA. The Drainage scheme shall have regard to the approved Sustainability Statement and include the following: - Provisions to be made for the drainage of the site to ensure that there is no discharge of surface water to the public highway; details of the results of inspection of existing drains in the vicinity of the site to ensure there has been no damage or blockages as a result of site work; and a site drainage layout plan to inform on the method of storm and foul drainage of the site. Thereafter, the approved drainage shall be installed in full accordance with the approved details prior to first occupation of the dwellings and shall not be amended or altered in any way.
Reason	<i>To ensure that adequate drainage facilities are available for the satisfactory and proper development of the site in accordance with Policy [EM4 &] EM5 of the Coventry Local Plan 2016.</i>
11.	Prior to the first occupation of the development hereby permitted, details of both hard and soft landscaping works shall be submitted to and approved in writing by the Local Planning Authority. Details of hard landscaping works shall include boundary treatment, including full details of the proposed boundary walls, railings and gates to be erected, specifying the type of bricks and colour of the railings and gates; footpaths; and hard surfacing (which shall be made of porous materials or provision shall be made to direct run-off water from the hard surface to a permeable or porous area). The hard landscaping works shall be completed in strict accordance with the approved details within three months of the first occupation of the dwellings hereby permitted; and all planting shall be carried out in accordance with the approved details within the first planting and seeding seasons following the first occupation. Any tree(s) or shrub(s) which within a period of five years from the completion of the development dies, is removed or becomes; in the opinion of the Local Planning Authority; seriously damaged, defective or diseased shall be replaced in the next planting season with another of similar size and species. All hedging, tree(s) and shrub(s) shall be planted in accordance with British Standard BS 8545:2014 Trees: from nursery to independence in the landscape - Recommendations and BS4428 - Code of Practice for General Landscape Operations.
Reason	<i>To ensure a satisfactory standard of appearance of the development in the interests of the visual amenities of the area in accordance with Policies GE1 and DE1 of the Coventry Local Plan 2016.</i>
12.	The residential accommodation hereby permitted shall not be occupied unless and until the bin storage areas have been provided in full accordance with the details shown on the approved plans and thereafter, they shall remain available for use at all times and shall not be removed or altered in any way.

Reason	<i>In the interests of the amenities of the future occupants of the residential accommodation in accordance with Policy DE1 of the Coventry Local Plan 2016.</i>
13.	Prior to occupation of the development the turning areas and parking facilities shown on the approved plans shall be properly consolidated, delineated, surfaced, drained, free of loose stone and otherwise constructed and provided in accordance with details to be submitted to and approved in writing by the local planning authority and these areas shall thereafter be retained and kept available for those uses at all times.
Reason	<i>In the interests of highway safety in accordance with the aims and objectives of Policies AC1, AC2 and AC3 of the Coventry Local Plan 2016.</i>
14.	Prior to occupation of the dwellings, sheds shall be erected in accordance with the approved plans to provide cycle storage and thereafter shall remain available for use at all times and shall not be removed or altered in any way, save for like for like replacement
Reason	<i>In the interests of encouraging the use of alternative modes of transport with the aim of creating a more sustainable city in accordance with Policies DS3, AC3 and AC4 of the Coventry Local 2016.</i>
15.	Any gas boilers installed on site shall have a dry NOx emission rate of no more than 40mg/kWh. One electric vehicle recharging point per dwelling shall be provided prior to occupation and shall not be removed or altered in any way and shall be kept available for such use by residents at all times.
Reason	<i>To mitigate the impacts of development on air quality in accordance with Policy DS3 of the Coventry Local Plan 2016 and the aims and objectives of the NPPF.</i>
16.	Prior to the first occupation of the development hereby permitted, details of general ecological habitat enhancement measures and hedgehog mitigation measures shall be submitted to and approved in writing by the Local Planning Authority. Such measures shall include; retention and management of boundary vegetation, and hedgehog friendly boundary fencing and gates) The habitat enhancement measures shall be undertaken in strict accordance with the approved details prior to the first occupation of the development and thereafter shall be retained and shall not be removed or altered in any way.
Reason	<i>To ensure that protected species are not harmed by the development in accordance with Policy GE3 of the Coventry Local Plan 2016 and the advice contained within the NPPF 2021</i>
17.	Prior to the first occupation of the development hereby permitted details of swift bricks and bee bricks shall be submitted to and approved in writing by the Local Planning Authority. The swift bricks and bee bricks shall be fully installed in strict accordance with the approved details prior

	to the first occupation of the development and thereafter shall be retained and shall not be removed or altered in any way.
Reason	<i>To ensure that protected species are not harmed by the development in accordance with Policy GE3 of the Coventry Local Plan 2016 and the advice contained within the NPPF 2021.</i>
18.	Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended), or any statutory instrument amending, revoking and/or replacing that Order, no development to form hard surfaces shall be carried out within the curtilage of any dwellinghouses hereby permitted without the prior grant of planning permission by the Local Planning Authority.
Reason	<i>In the interests of ensuring that biodiversity value is retained in accordance with Policy GE3 of the Coventry Local Plan 2016.</i>

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KEY

- Site boundary
- Other Citizen land
Not an absolute record; other areas shown on this plan may be owned by Citizen Housing

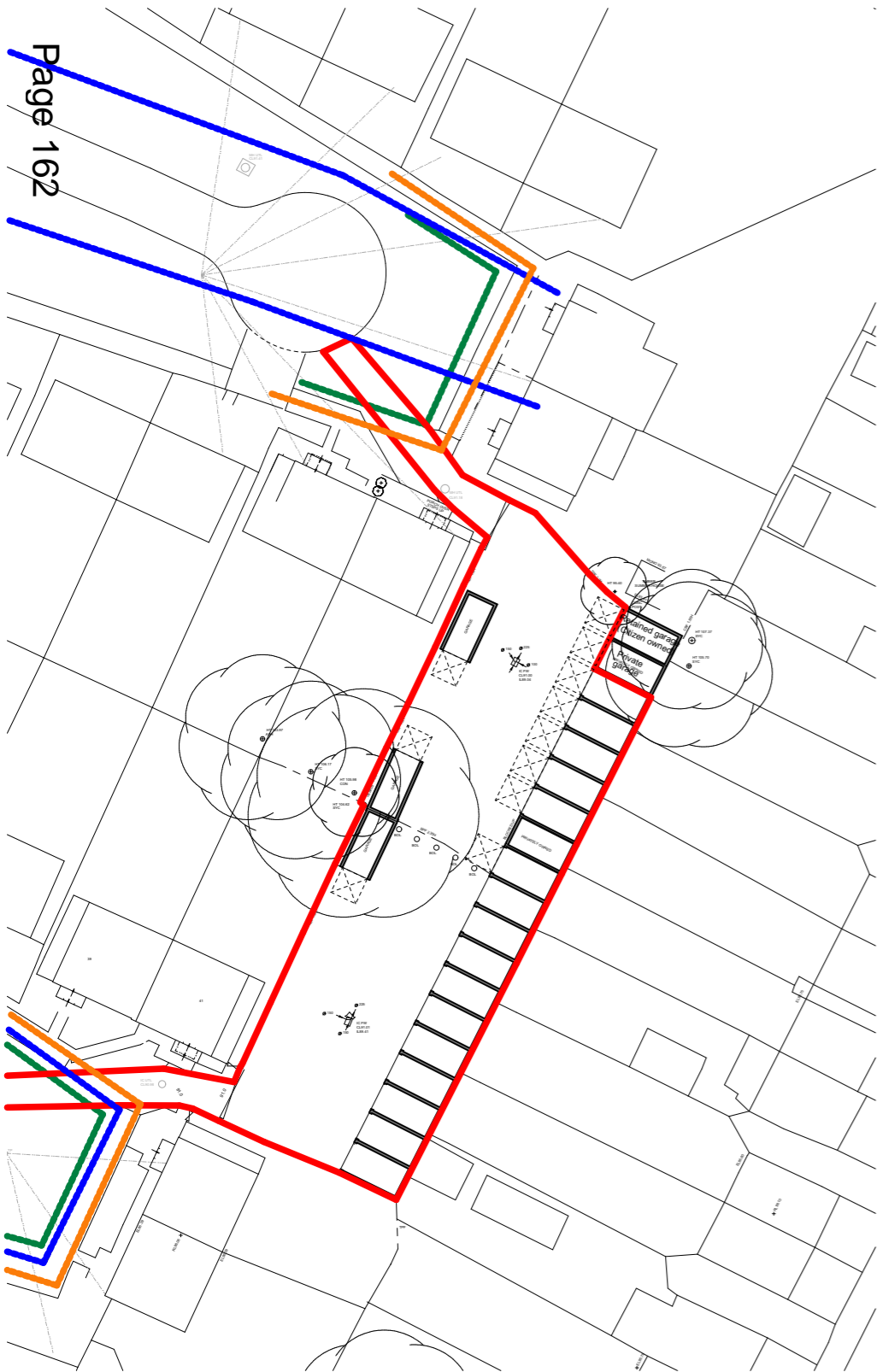
Rev.	Date	Description	Drwn.
B	07.10.22	PLANNING ISSUE. Red line updated to meet adopted highway	RM

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Drawing Title
Sites 014 & 128 Thimbler Road Site Location Plan
 Project
 Coventry Garage Sites
 Client
 [REDACTED]
 Scales @ A4 First Issue Date Drawn Check
 1:1250 September 2022 HC RM
 Job Number _ Dwg. No. _ Revision [RIBA Stage] - Drawing Status
 N1697_456_B_ [3] - PLANNING



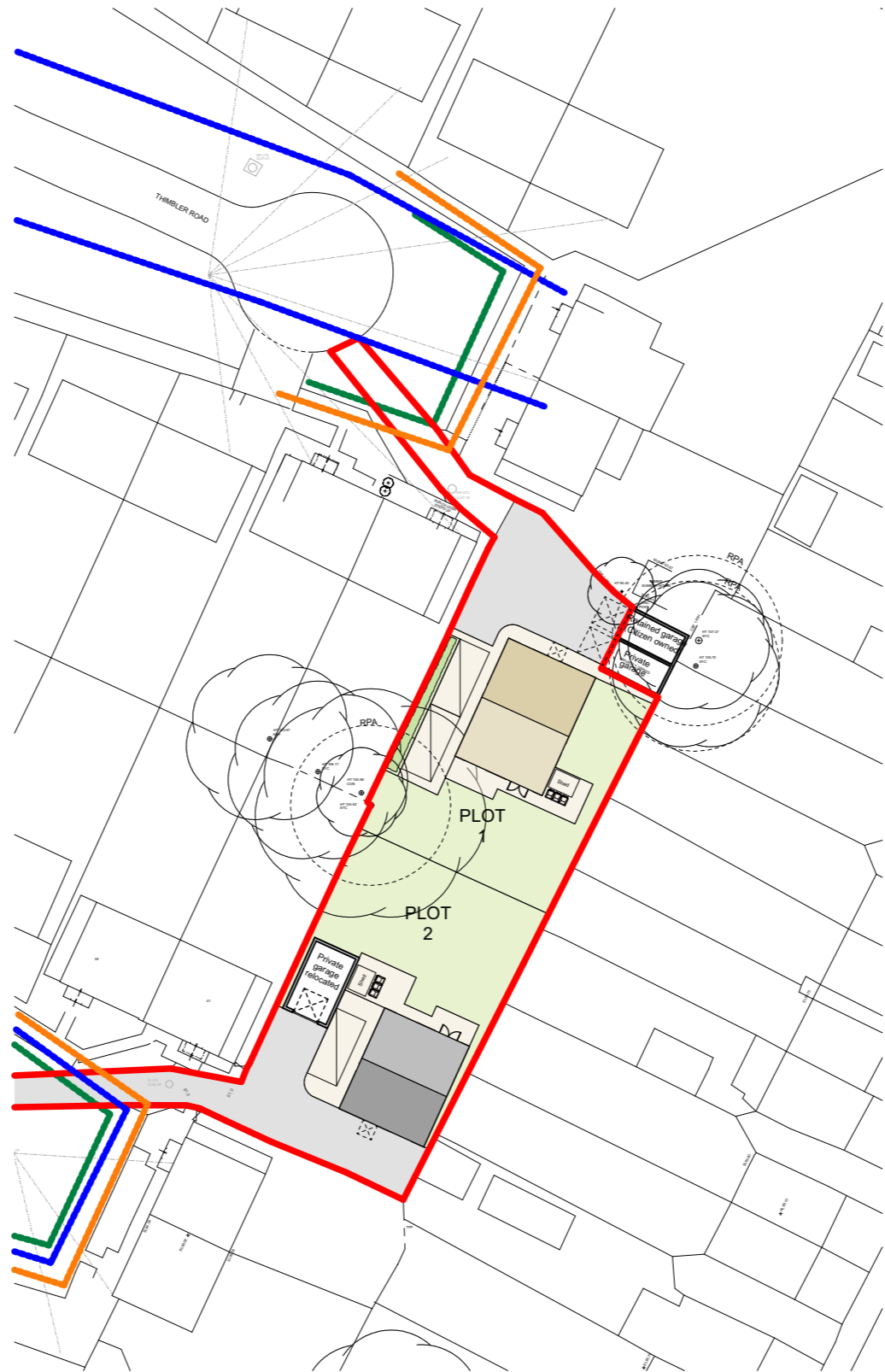


Existing garages plan 1:500

Scale

Rev.	Date	Description	Drwn.	Check
C	07.10.22	PLANNING ISSUE. Red line updated to meet adopted highway	RM	CS
B	05.10.22	PLANNING ISSUE. Private relocated garage updated	HC	RM
A	26.09.22	Garden fence amended.	KG	RM

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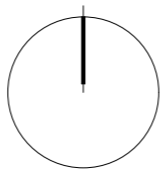
Proposed garages plan 1:500



KEY

- Existing underground electricity cable route
- Existing underground BT cable route
- Existing underground gas route

N.B. Garages not surveyed internally

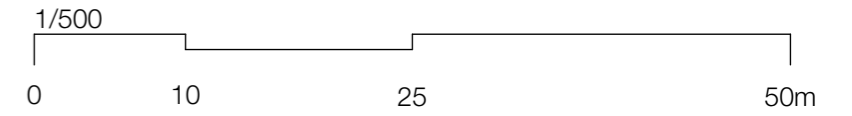
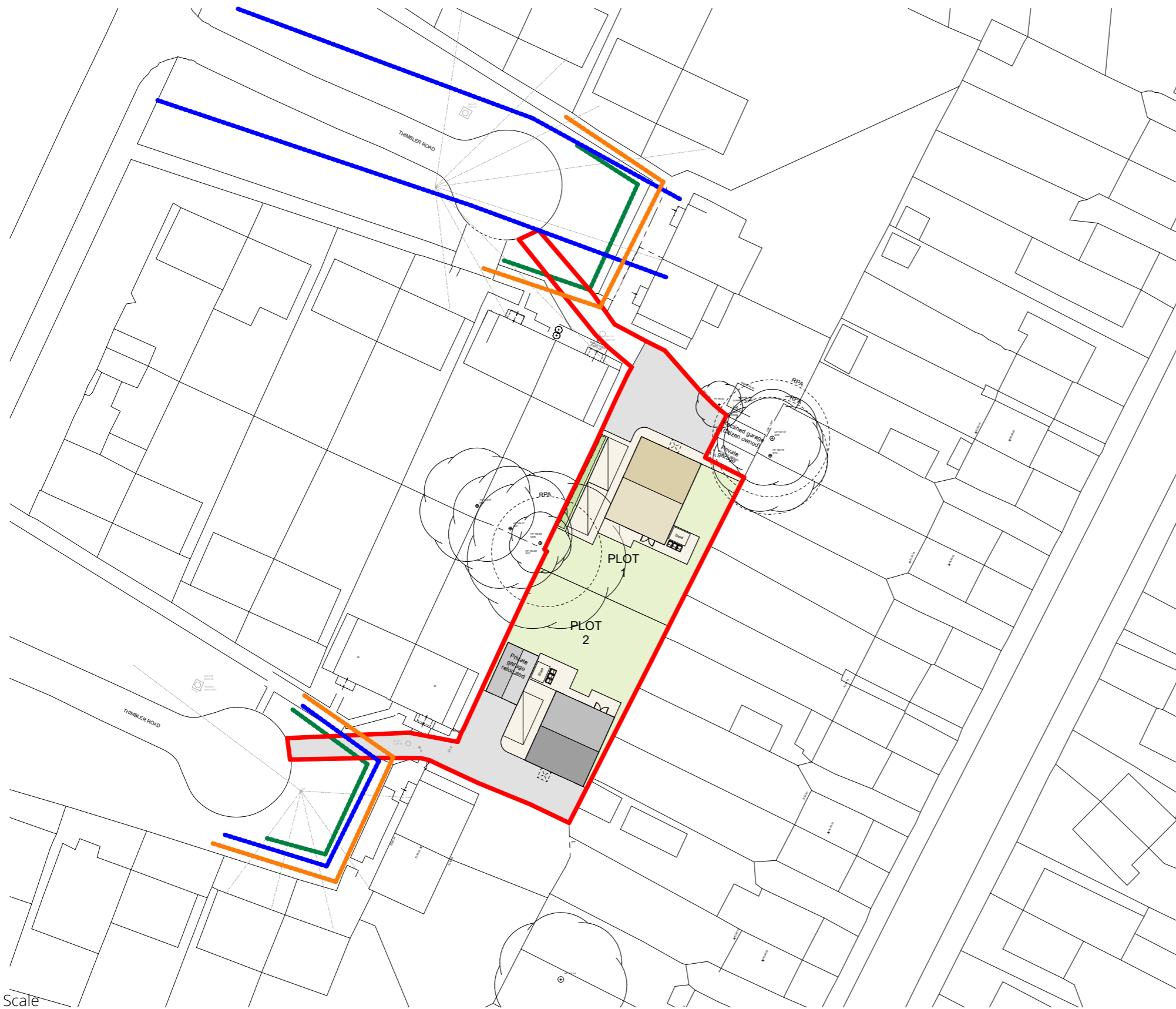


North

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Drawing Title: Sites 014 & 128 Thimbler Road Existing & Proposed Garages Plan
 Project: Coventry Garage Sites
 Client: [Redacted]
 Scales @ A3: 1:500
 First Issue Date: September 2022
 Drawn: HC
 Check: RM
 Job Number _ Dwg. No. _ Revision: N1697_459_C_ [3] - PLANNING
 [RIBA Stage] - Drawing Status





KEY

- Gardens
- Hard surfacing/ parking
- Existing underground electricity cable route
- Existing underground BT cable route
- Existing underground gas route
- 1B2P Bungalow
- 2B3P Bungalow
- Existing tree with RPA

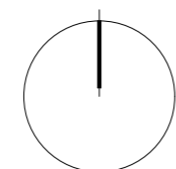
Schedule of Accommodation

1B2P bungalow	1no
2B3P bungalow	1no
Replacement garage	
TOTAL	2no
Parking	3no spaces

Scale

Rev.	Date	Description	Drwn.	Check
H	12.12.22	PLANNING ISSUE. Updated following planning comments (06.12.22) for resubmission	RM	
G	07.10.22	PLANNING ISSUE. Red line updated to meet adopted highway	RM CS	
F	05.10.22	PLANNING ISSUE. Private relocated garage updated	HC RM	
E	26.09.22	Garden fence amended for PLANNING ISSUE.	KG RM	
D	05.09.22	PLANNING ISSUE. Updated following receipt of topo survey	RM	
C	03.03.22	Updated following client/ resident comments	RM MJ	
B	01.02.22	Updated following client/ resident comments	RM MJ	
A	06.12.21	PRE-APP ISSUE. Updated following site visit	RM MJ	

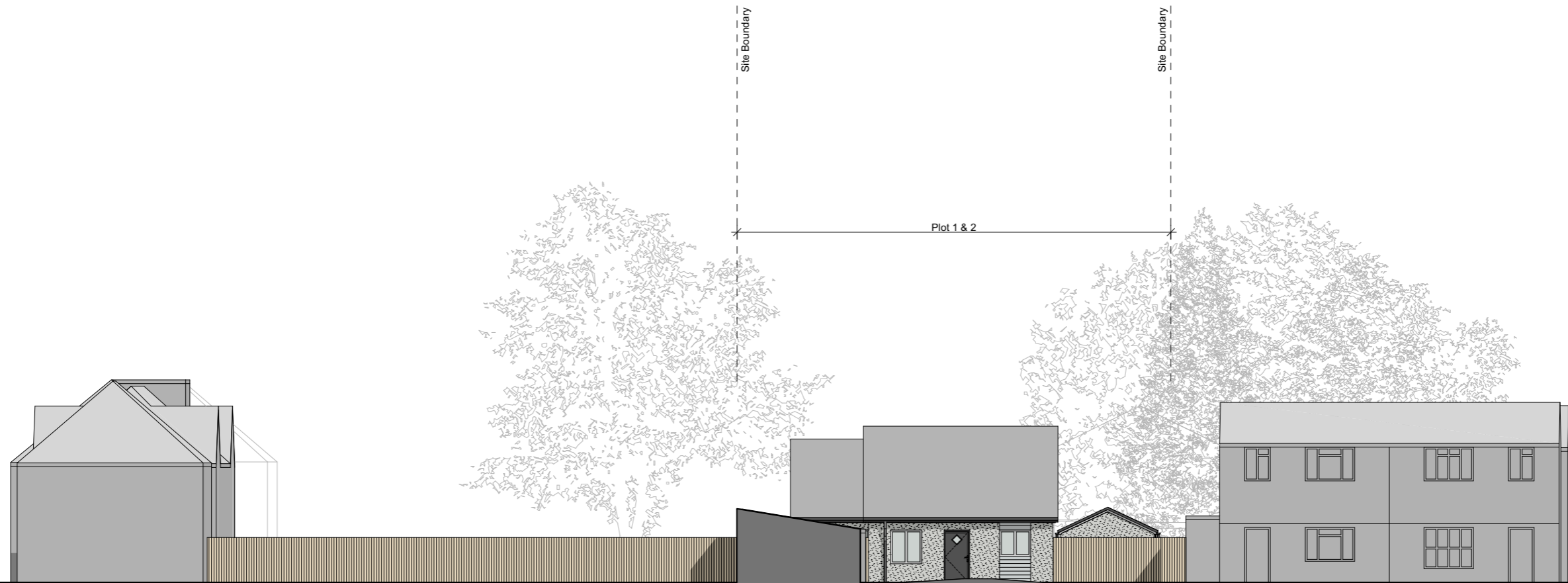
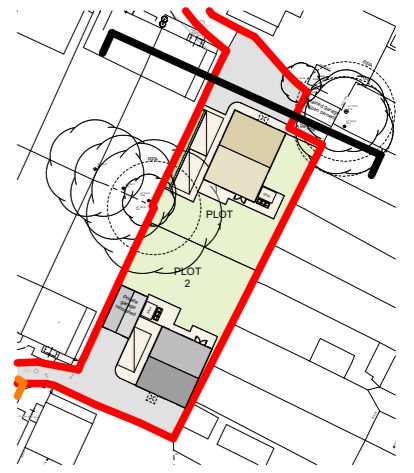
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Drawing Title
 Sites 014 & 128 Thimbler Road Proposed Site Layout
 Project
 Coventry Garage Sites
 Client
 Scales @ A3
 1:500
 Job Number _ Dwg. No. _ Revision
 N1697_455_H_
 First Issue Date
 June 2021
 [RIBA Stage] - Drawing Status
 [3] - PLANNING
 Drawn
 LT
 Check
 MJ

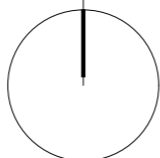




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Rev.	Date	Description	Drwn.	Check
C	12.12.22	PLANNING ISSUE. Updated following planners comments (06.12.22) for resubmission	RM	
B	05.10.22	PLANNING ISSUE. Private relocated garage updated	HC	RM
A	03.10.22	PLANNING ISSUE. Housetype updated following client comments	RM	

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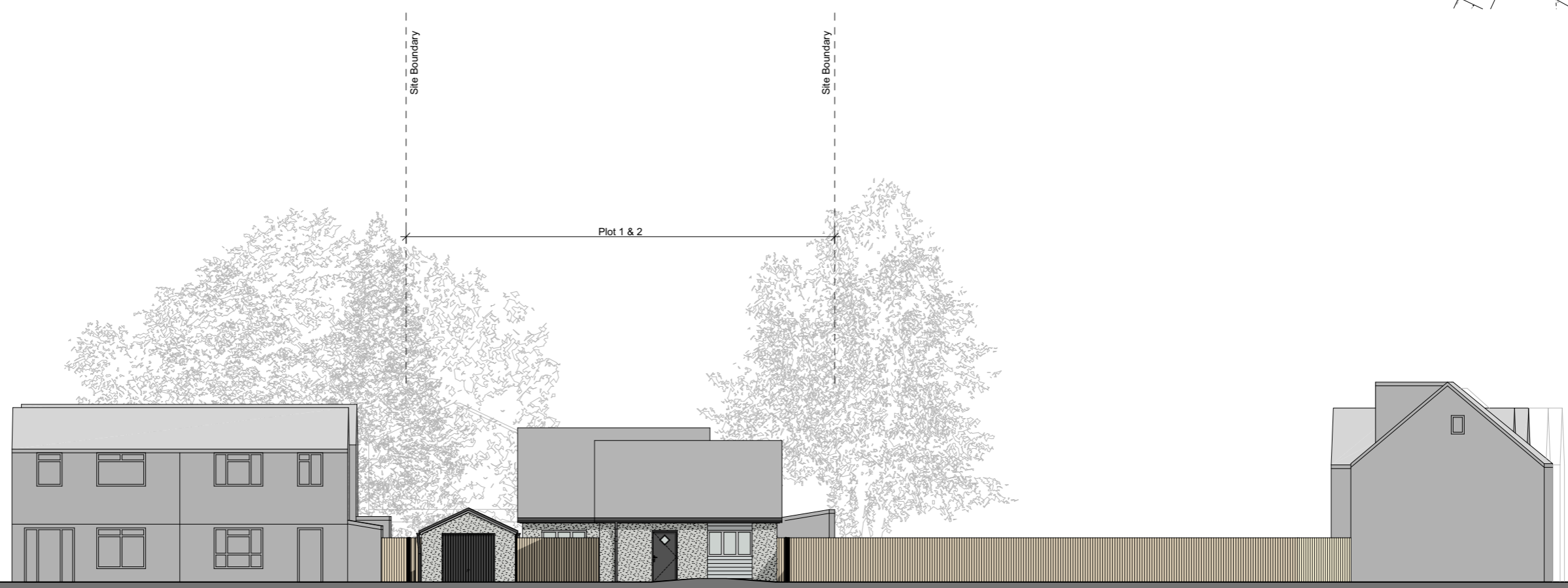
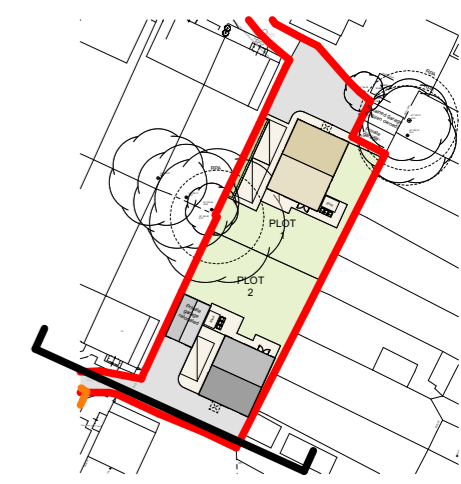


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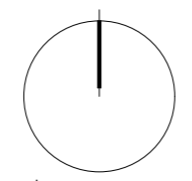
Drawing Title
Sites 014 & 128 Thimbler Road Proposed Elevation 1
 Project
 Coventry Garage Sites
 Client
 [Redacted]
 Scales @ A3 First Issue Date Drawn Check
 1:200 September 2022 HC RM
 Job Number _ Dwg. No. _ Revision [RIBA Stage] - Drawing Status
 N1697_2106_C_ [3] - PLANNING





Scale

Rev.	Date	Description	Drwn.	Check
C	12.12.22	PLANNING ISSUE. Updated following planners comments (06.12.22) for resubmission	RM	
B	05.10.22	PLANNING ISSUE. Private relocated garage updated	HC	RM
A	03.10.22	PLANNING ISSUE. Housetype updated following client comments	RM	



North

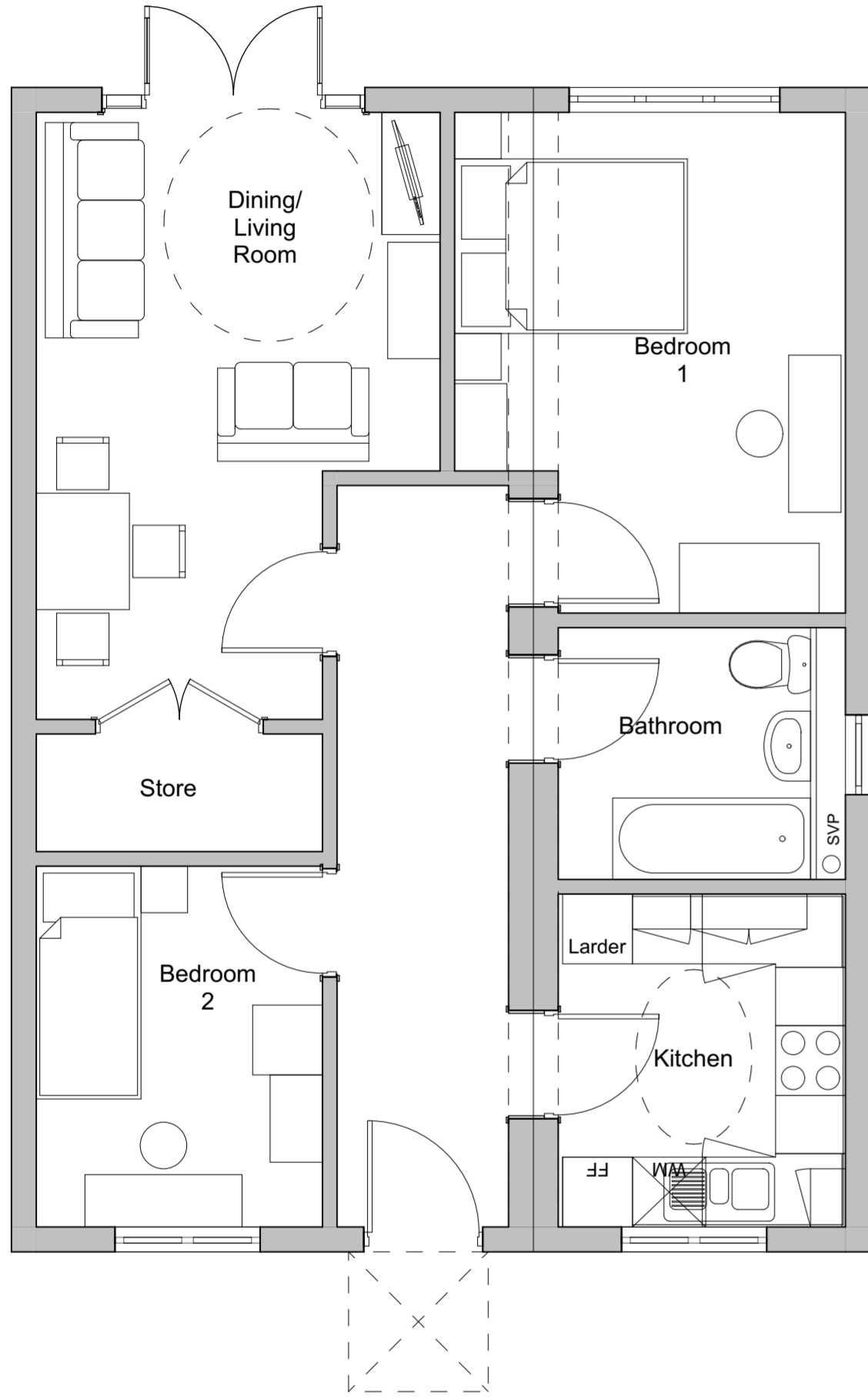
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Drawing Title
Sites 014 & 128 Thimbler Road Proposed Elevation 2
 Project
 Coventry Garage Sites
 Client
 [REDACTED]
 Scales @ A3 First Issue Date Drawn Check
 1:200 September 2022 HC RM
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 N1697_2108_C_ [3] - PLANNING



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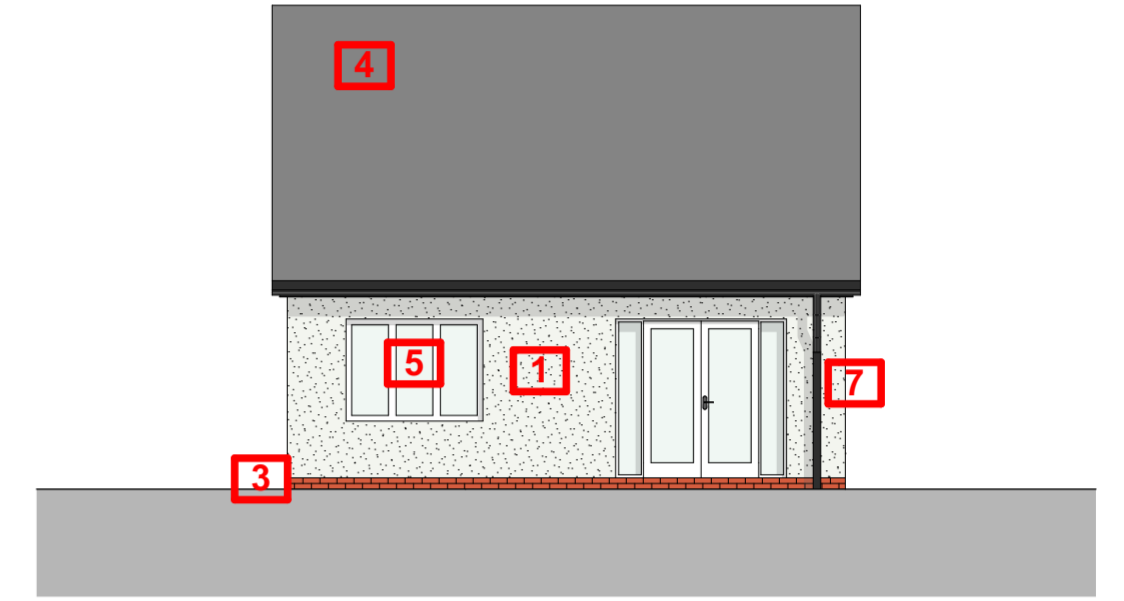
Page 10
Thimbler Road
2B3P Bungalow
GIFA - 66.6sqm



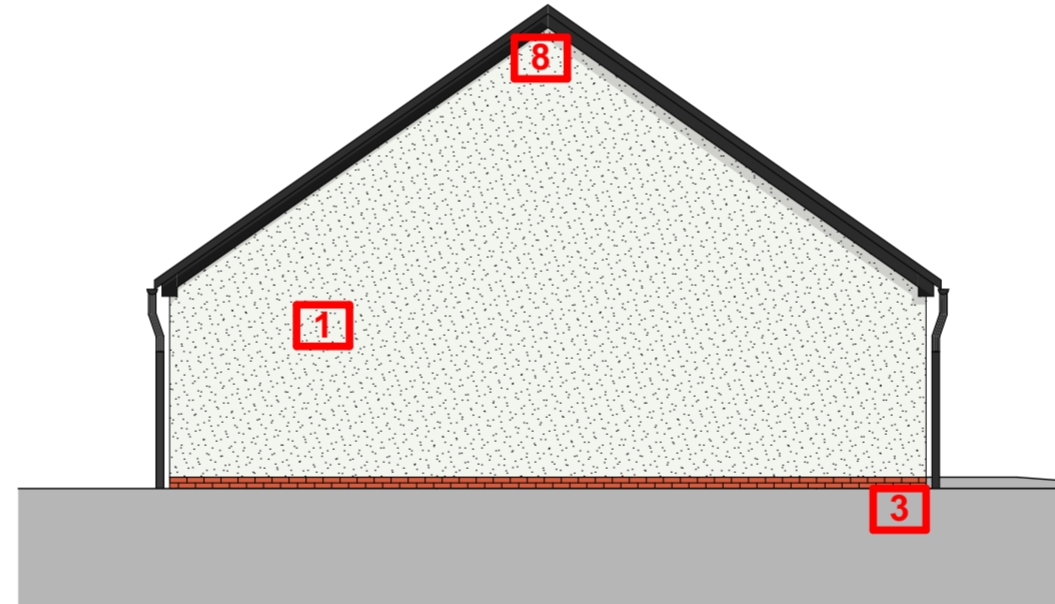
Ground floor plan
 1:50



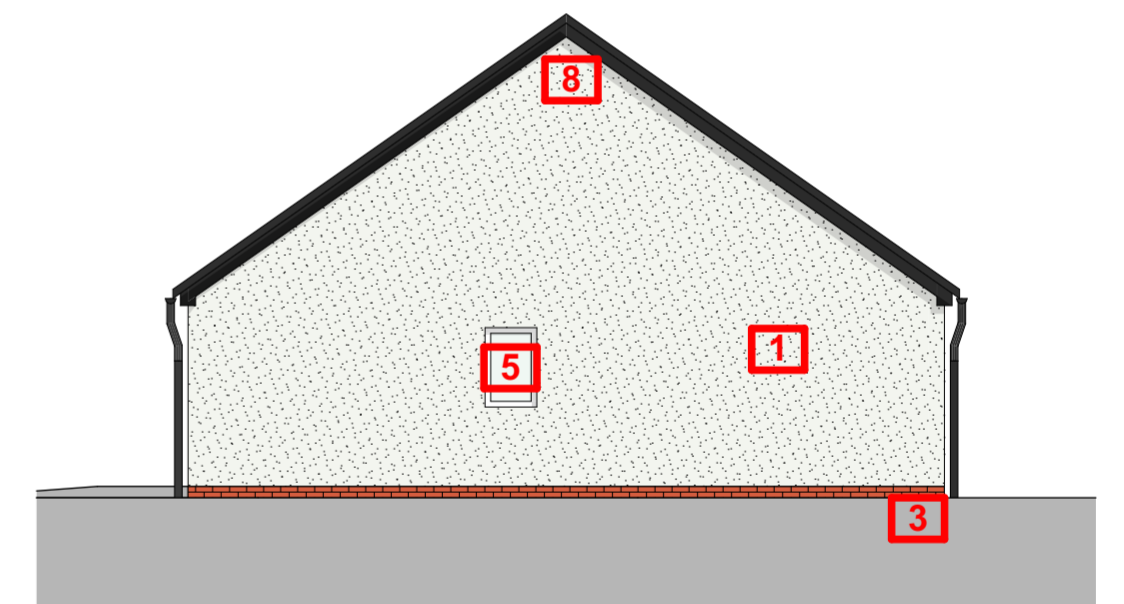
Front elevation
 1:100



Rear elevation
 1:100



Side elevation
 1:100

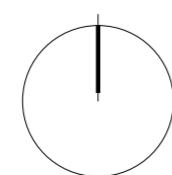


Side elevation
 1:100

- 1** Render
White
- 2** Horizontal cladding feature panel
White composite board
- 3** Brick
Red brick below DPC level
- 4** Concrete roof tile
Grey/ brown to match surrounding buildings
- 5** Windows
White uPVC
- 6** Composite front door
Black uPVC
- 7** Rainwater goods
Black uPVC
- 8** Soffit/ fascia
White uPVC

Rev.	Date	Description	Drwn.	Check
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Scale



North

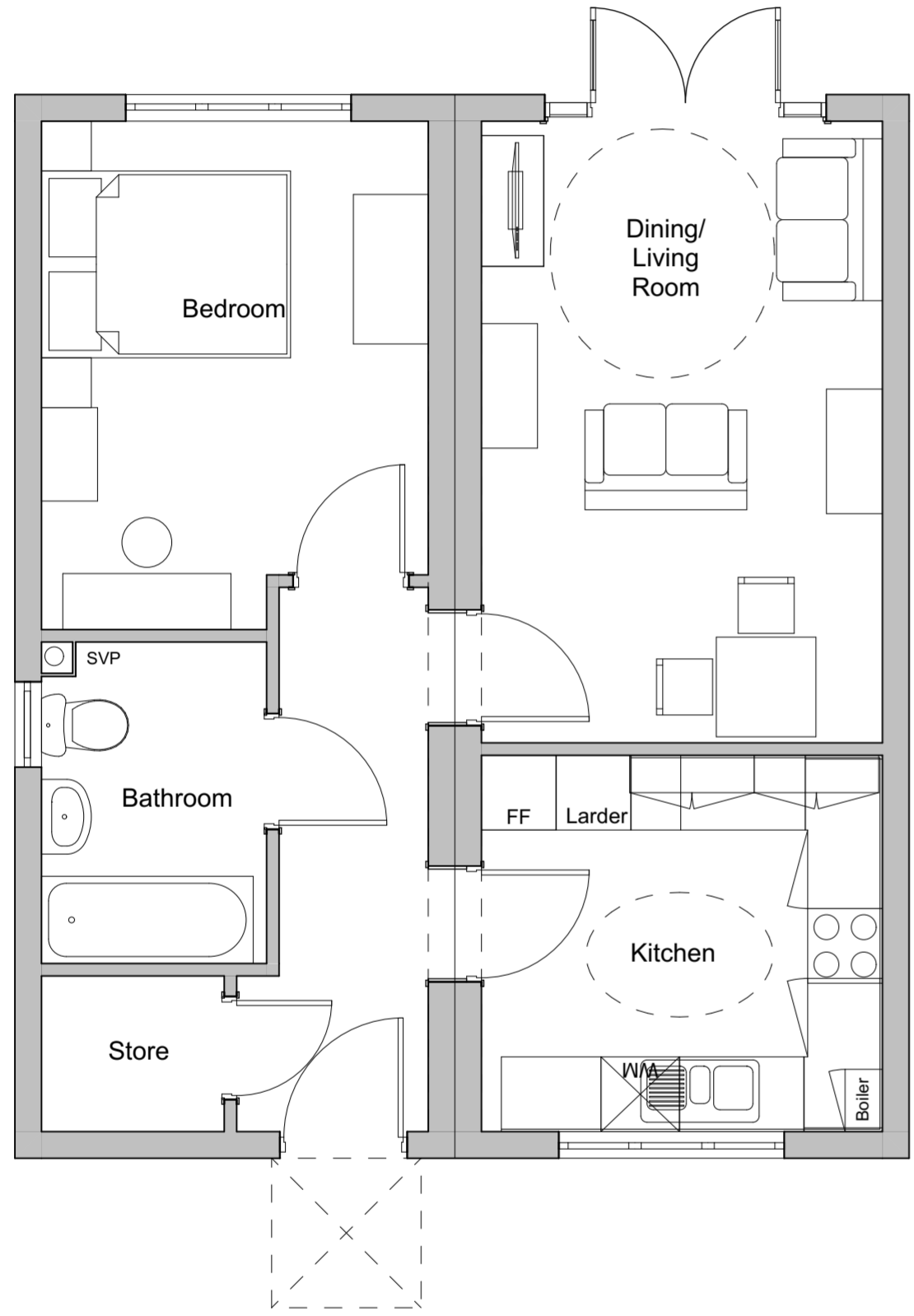
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Drawing Title
 Sites 014 & 128 Thimbler Road Housetypes 1 of 2
 Project
 Coventry Garages
 Client
 Scales @ A2
 1:50, 1:100
 Job Number - Dwg. No. - Revision
 N1697 1323_ [3] - PLANNING
 First Issue Date
 December 2022
 Drawn
 RM
 Check
 MJ

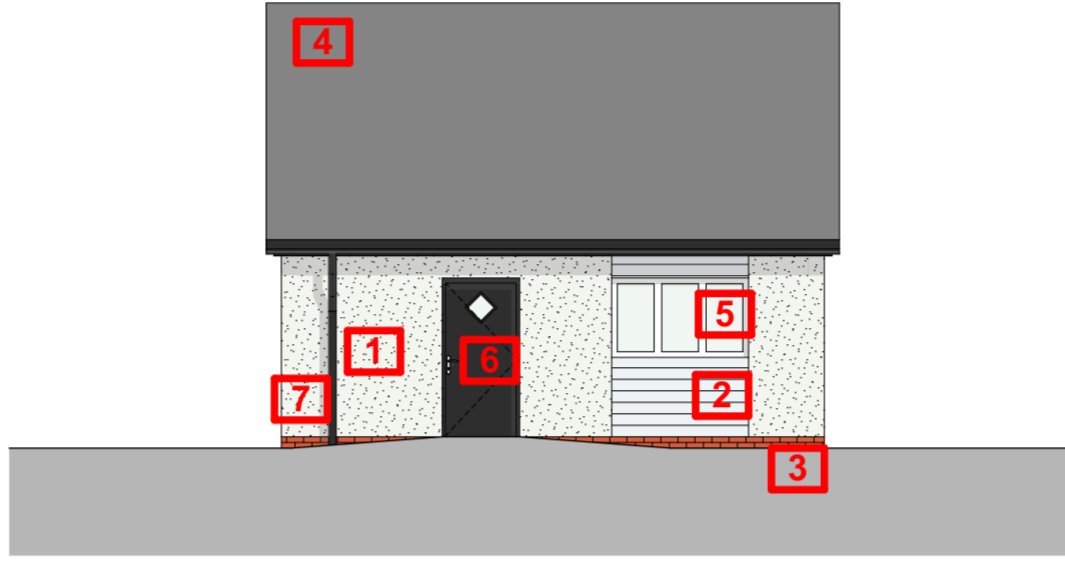


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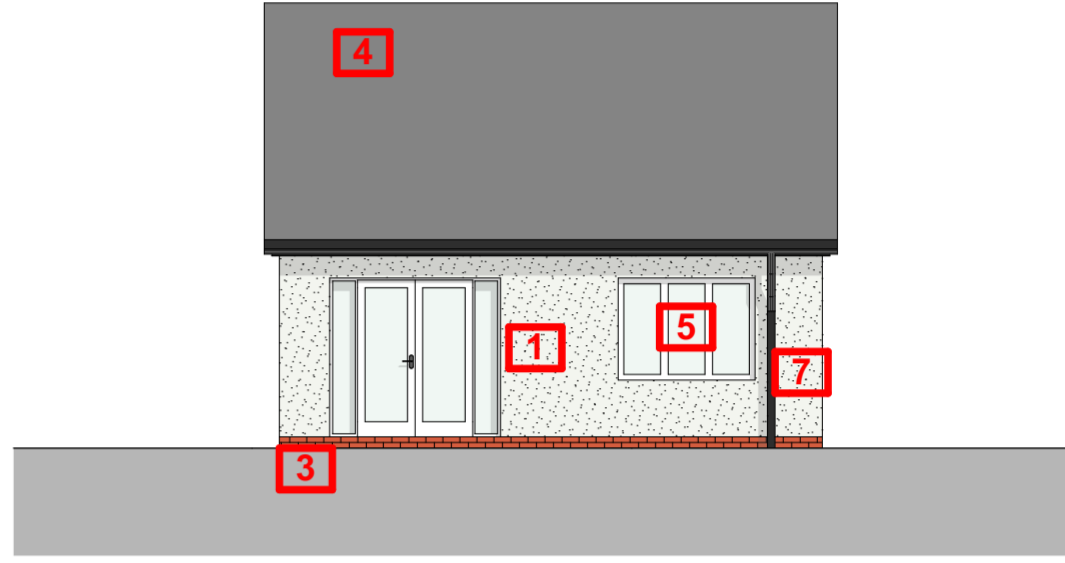
Thimbler Road 1B2P Bungalow GIFA - 58.4sqm



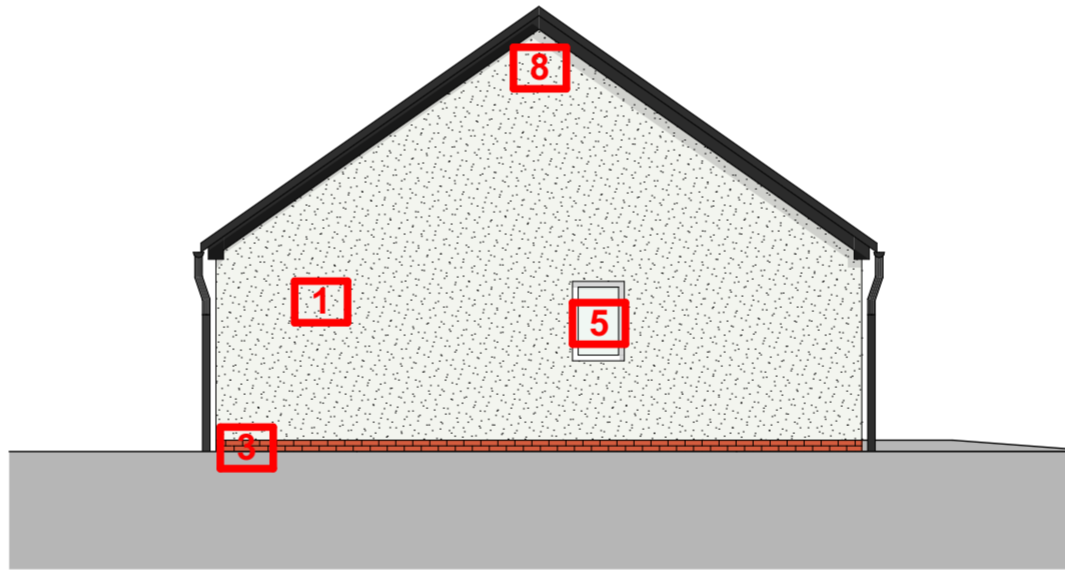
Ground floor plan
1:50



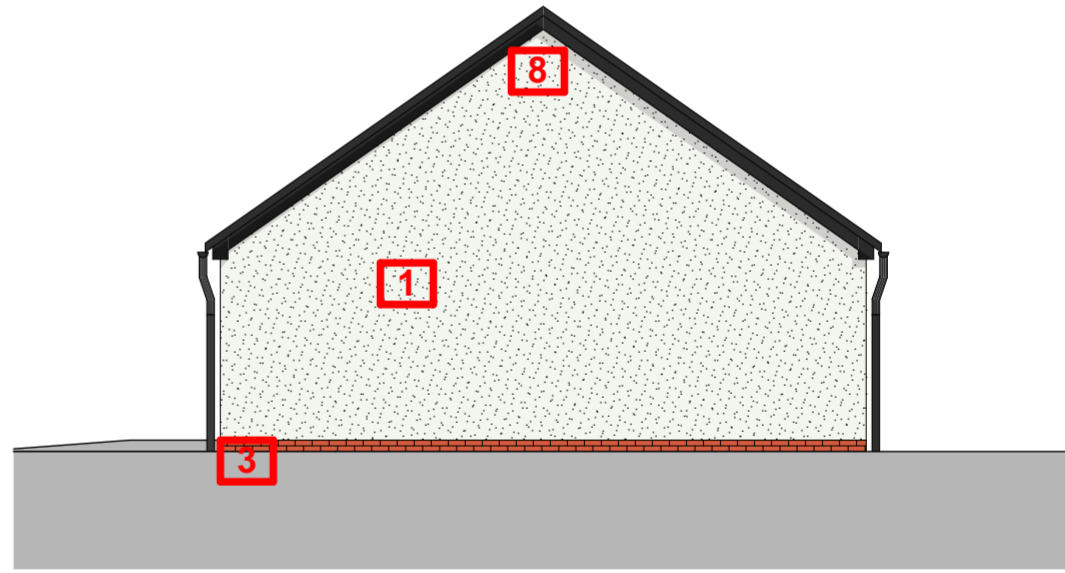
Front elevation
1:100



Rear elevation
1:100



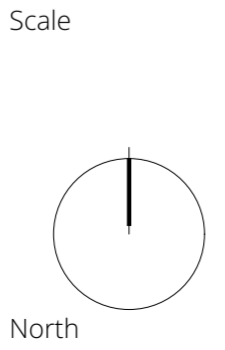
Side elevation
1:100



Side elevation
1:100

- 1** Render
White
- 2** Horizontal cladding feature panel
White composite board
- 3** Brick
Red brick below DPC level
- 4** Concrete roof tile
Grey/ brown to match surrounding buildings
- 5** Windows
White uPVC
- 6** Composite front door
Black uPVC
- 7** Rainwater goods
Black uPVC
- 8** Soffit/ fascia
White uPVC

Date	Description	Drwn.	Check
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Offices at: Liverpool & Nottingham	Drawing Title
Halsall Lloyd Partnership	Sites 014 & 128 Thimbler Road Housetypes 2 of 2
Address	Project
53 Forest Road East	Coventry Garages
Post Code	Client
NG1 4HW	
Issuing Office	Scales @ A2
Nottingham	1:50, 1:100
Tel	First Issue Date
0115 989 7969	December 2022
Website	Drawn
www.hlpdesign.com	RM
	Check
	MJ
	Job Number - Dwg. No. - Revision
	N1697 1324_ [3] - PLANNING



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Planning Committee Report	
Planning Ref:	PL/2023/0001890/TCA
Site:	35 Morningside, Coventry, CV5 6PD
Ward:	Sherbourne
Proposal:	<p>Cherry Plum (T1) - Crown Reduction - Reduce height from 7m to 6m to allow crown to clear telephone line. Spread from 5.5m to 5m.</p> <p>Hazelnut (T2) - Crown Reduction - Reduce height from 7m to 6m.</p> <p>Lime tree (confirmed to be a Hornbeam) (T3) - Crown Reduction - Reduce height from 5m to 4m.</p> <p>Plum tree (T4) - 2.5m high tree - Removal and replace with 1 walnut tree.</p> <p>Magnolia (T5) - Crown Reduction - Reduce height of tree from 5.5m to 5m to allow crown to clear telephone line.</p>
Case Officer:	Jessica Mantle

SUMMARY

Trees in a designated Conservation Area (that are not protected by a Tree Preservation Order) are protected by the provisions in section 211 of the Town and Country Planning Act 1990. These provisions require people to notify the Local Planning Authority, using a 'section 211 notice', 6 weeks before carrying out certain work on such trees, unless an exemption applies. The work may go ahead before the end of the 6-week period if the local planning authority gives written consent. This notice period gives the Local Planning Authority the opportunity to consider whether to make a Tree Preservation Order (TPO) on the tree.

The purpose of this report is to assess whether the trees subject of the notice are worthy of special protection through the designation of a Tree Preservation Order in the interests of the amenity of the area.

KEY FACTS

Reason for report to committee:	The applicant is a Council employee within the Development Management Team.
Current use of site:	Single dwellinghouse
Proposed use of site:	Single dwellinghouse
Conservation area	Earlsdon Conservation Area
Listed building	No
Locally listed	No

RECOMMENDATION

Officer recommendation is that a Tree Preservation Order would not be expedient to make in this instance. Planning Committee are therefore recommended to grant consent for the proposed tree works.

REASON FOR DECISION

- The proposed works are acceptable in principle.
- The proposed works will not have an adverse impact upon the amenity of the Conservation Area or the visual amenity of the street scene.
- The proposal accords with HE2 of the Coventry Local Plan 2016.

SITE DESCRIPTION

The application property is a detached dwelling with a hipped roof, located on the south side of Morningside on a bend in the road. The site has a tapered shaped plot with a wider rear garden area, that adjoins public highway, The Firs, to the rear. The site is within a residential area and Earlsdon Conservation Area.

APPLICATION PROPOSAL

The application is a notice under section 211 of the Town and Country Planning Act 1990 for works to trees in a designated Conservation Area. The proposed works are as follows:

Cherry Plum (T1) - Crown Reduction - Reduce height from 7m to 6m to allow crown to clear telephone line. Spread from 5.5m to 5m.

Hazelnut (T2) - Crown Reduction - Reduce height from 7m to 6m.

Lime tree (confirmed to be a Hornbeam) - Crown Reduction - Reduce height from 5m to 4m.

Plum tree (T4) - 2.5m high tree - Removal and replace with 1 walnut tree.

Magnolia (T5) - Crown Reduction - Reduce height of tree from 5.5m to 5m to allow crown to clear telephone line.

PLANNING HISTORY

There have been a number of historic planning applications on this site but none are of relevance to this notice.

Application Number	Description of Development	Decision and Date
HH/2020/1821	Erection of single storey side extension, pitched roof over existing flat roof to front elevation, bay window to front elevation and detached outbuilding to include	Granted 18/09/2020

	wood burning stove and flue. New garden wall & gate.	
PL/2023/0001157/HHA	Application for proposed tiled hipped roof over existing front dormer window and relocation of wood store from rear garden to side of house.	Granted 20/07/2023

POLICY

National Policy Guidance

National Planning Policy Framework (NPPF). The NPPF published in March 2012 and updated in September 2023 sets out the Government's planning policies for England and how these are expected to be applied. It sets out the Government's requirements for the planning system only to the extent that is relevant, proportionate, and necessary to do so. The NPPF promotes sustainable development and good design is recognised as a key aspect of this.

The National Planning Practice Guidance (NPPG) 2014, adds further context to the NPPF and it is intended that the two documents are read together.

Local Policy Guidance

The current local policy is provided within the Coventry Local Plan 2016, which was adopted by Coventry City Council on 6th December 2017. Relevant policy relating to this application is:

Policy HE2: Conservation and Heritage Assets

Supplementary Planning Guidance/ Documents:

Not applicable

CONSULTATION

Non-statutory

Coventry Tree Officer – No objection

Neighbour consultation

There is no statutory duty for public consultation for an application for works to trees in Conservation Areas.

APPRAISAL

The primary consideration of this report is whether the trees subject of the notice are worthy of special protection through the designation of a Tree Preservation Order in the

interests of the amenity of the area. In making that decision the key criteria for assessing amenity are:

- Visibility from public vantage points;
- Individual impact - related to size and form (now or in future), rarity, value as a screen or contribution to the character or appearance of a Conservation Area);
- Wider impact - significance of the trees within the local surroundings (collective value).

Policy HE2 indicates that important landscape features of value to the amenity of a locality, including mature woodlands and trees will be protected against unnecessary loss or damage.

The Hazelnut (T2), Hornbeam(T3) and Plum (T4) tree are all located within the rear garden of 35 Morningside, which lies within the Earlsdon Conservation Area. Due to their positioning in the rear garden, the trees offer little to no visual amenity contributions to local public vantage points of the area. The Councils Tree Officer confirms that the small Plum tree (T4) is in decline and infected with Silverleaf fungus. The Hazelnut (T2) and Hornbeam (T3) tree grow adjacent to the rear high-sided southern garden wall and the neighbouring structure. The Hornbeam tree (T3) is not appropriate for long-term retention in its location as it will potentially grow into a large tree 20m high x 20m spread. The proposed works to the Hazelnut (T2) and Hornbeam (T3) tree will help in allowing their retention within the immediate restricted landscaped garden setting, and also allow for the establishment of the adjacent crown of the mature native Silver Birch tree.

The ornamental trees within front garden T5 Magnolia and T1 Cherry Plum (Purple Leaved Plum) are located adjacent to the Western side boundary. The proposed works to these trees are remedial in nature, and chiefly for the reasons to shorten back crown tips from adjacent overhead cables, whilst retaining for a more reasonable prospective within the immediate restricted landscaped garden setting.

The proposed tree works are considered to be acceptable in principle and will not result in any significant impact upon the conservation area or visual amenity in accordance with Policy HE2 of the Coventry Local Plan 2016.

Equality Implications

Section 149 of the Equality Act 2010 created the public sector equality duty. Section 149 states:-

(1) A public authority must, in the exercise of its functions, have due regard to the need to:

- a) eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under this Act;
- b) advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it;
- c) foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

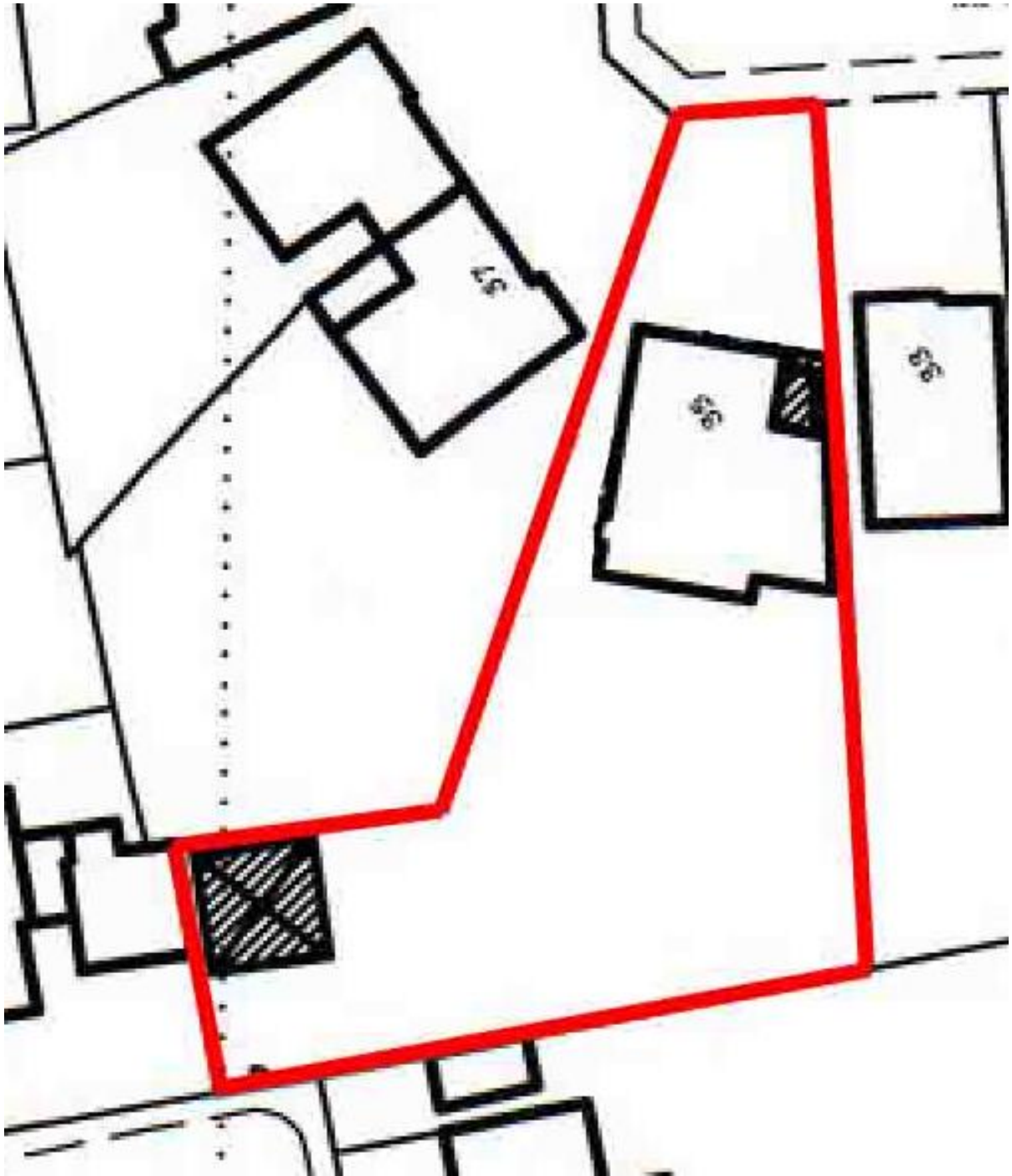
Officers have taken this into account and given due regard to this statutory duty, and the matters specified in Section 149 of the Equality Act 2010 in the determination of this application.

There are no known equality implications arising directly from this development.

Conclusion

The proposed tree works are considered to be acceptable in principle and will not result in any significant impact upon the conservation area or visual amenity in accordance with Policy HE2 of the Coventry Local Plan 2016. Officer recommendation is that a Tree Preservation Order would not be expedient to make in this instance. Planning Committee are therefore recommended to grant consent for the proposed tree works.

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